



PLANNING ADVISORY/COMMITTEE OF ADJUSTMENT/ PROPERTY STANDARDS COMMITTEE AGENDA

On October 28, 2025 @ 6:00 PM
In-Person in the Town Hall Council Chambers, 30 King Street East, Gananoque
(parking on-site via Garden Street)
and via Teleconference/Video Conference using information below:

2864 415 8518

Teleconference Toll Free Number – 1-833-311-4101, Access Code: 2861 612 6497

Video Conference Link: [Click Here:](#)

		Attachment
1.	Call Meeting to Order	
2.	Adoption of the Agenda	Motion
3.	Disclosure of Pecuniary Interest & General Nature Thereof	
4.	Approval of Minutes	
	<ul style="list-style-type: none"> Minutes of September 23, 2025 	Motion
5.	Public Question/Comments (only addressing items on the agenda) *Note: Members of the public are permitted to speak to Planning Act applications under Reports/New Business at the time of discussion.	
6.	Unfinished Business – None	
7.	Reports/New Business	
	DEVELOPMENT PERMIT APPLICATIONS	
	DP2025-15 230 Victoria Avenue – Mackenzie-Gray	Motion
	OPA8-25 & DP2025-13 145 River Street – Matthews	Motion
8.	Correspondence/Other – None	
9.	Next Regular Meeting – Tuesday, November 25, 2025 at 6:00 PM	
10.	Questions From the Media	

The Town invites and encourages people with disabilities to attend and voice their comments in relation to accessibility related reports. For those who are unable to attend, the Town encourages the use of the Customer Feedback Form found on the Accessibility Page on the Town's website.

11.	Adjournment	Motion
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PLANNING ADVISORY/COMMITTEE OF ADJUSTMENT/PROPERTY STANDARDS COMMITTEE MEETING MINUTES

Tuesday, September 23, 2025 @ 6:00 PM
In Person and Via Webex Teleconference Meeting

COMMITTEE MEMBERS PRESENT		STAFF PRESENT
Acting Chair:	Brian Brooks	Brenda Guy, Mgr of Plan/Dev
Members:	Councillor Anne-Marie Koiner	
	Lynda Garrah	
	Emery Groen	
	Kathy Warren	
Regrets:	Councillor Colin Brown	
	Neil McCarney	
	Jana Miller	

1.	Call Meeting to Order
	A/Chair Brian Brooks called the meeting to order at 5:59 PM
2.	Adoption of the Agenda
	<p>PAC-COA-PSC Motion #2025-29 Moved by: Lynda Garrah Seconded by: Emery Groen BE IT RESOLVED THAT PLANNING ADVISORY COMMITTEE/COMMITTEE OF ADJUSTMENT/ PROPERTY STANDARDS COMMITTEE ADOPT THE AGENDA DATED SEPTEMBER 23, 2025. - CARRIED</p>
3.	Disclosure of Pecuniary Interest & General Nature Thereof – Staff noted that Councillor Colin Brown is absent due to Application DP2025-12 as the lands are owned by the family business.
4.	Adoption of Minutes
	<p>PAC-COA-PSC Motion #2025-30 Moved by: Kathy Warren Seconded by: Anne-Marie Koiner BE IT RESOLVED THAT PLANNING ADVISORY COMMITTEE/COMMITTEE OF ADJUSTMENT/ PROPERTY STANDARDS COMMITTEE ADOPT THE MINUTES DATED AUGUST 26, 2025, AS AMENDED. - CARRIED</p>

5.	Public Question/Comments – None
6.	Unfinished Business – None
7.	Reports/New Business
	DEVELOPMENT PERMIT APPLICATION
	1. DP2025-12 – 760 Stone Street N – Class III Development Permit
	<p>Applicant Ryan Easton was in attendance.</p> <p>Development Permit application DP2025-12 is to extend a temporary designation on the lands at 760 Stone Street North for an automobile sales establishment. Approval was issued in 2022, for the lands for the specific use for a term of three years which expires in December 2025. The applicant provided a supporting letter noting that the extension is to consider the financial and economic viability of the business.</p> <p>There are no changes to the layout of the site with exception of the relocation of the accessible parking space. The applicant provided that the accessible parking space would be better served adjacent the building where there is an existing ramp. The Town will continue to maintain financial security in regards to the temporary use should the term lapse or cease to exist.</p> <p>Committee members were fully supportive of the extension.</p> <p>PAC-COA-PSC Motion #2025-31 – DP2025-12 – 760 Stone Street N Moved by: Lynda Garrah Seconded by: Kathy Warren</p> <p>BE IT RESOLVED THAT PLANNING ADVISORY COMMITTEE HAVE NO OBJECTION TO APPLICATION DP2025-12 (EASTON) AT 760 STONE STREET NORTH FOR THE EXTENSION OF THE TEMPORARY USE OF AN AUTOMOTIVE SALES ESTABLISHMENT FOR AN ADDITIONAL THREE YEARS TO DECEMBER 2, 2028, PROVIDED:</p> <ul style="list-style-type: none"> • ALL SITE WORKS REMAIN AS PREVIOUSLY APPROVED AND THE RELOCATION OF ACCESSIBLE PARKING SPACE BE IMPLEMENTED, • THE OWNER ENTER INTO AN AMENDMENT TO THE AGREEMENT WITHIN ONE YEAR OF THE NOTICE OF DECISION, AND • ALL COSTS ASSOCIATED WITH FULFILLING THE CONDITIONS OF THIS DECISION ARE BORNE BY THE OWNER. <p style="text-align: right;">- CARRIED</p>
8.	Correspondence/Other – None
9.	Next Regular Meeting: Tuesday, October 28, 2025 @ 6:00 pm
10.	Questions From the Media – None
11.	Adjournment PAC-COA-PSC Motion #2025-32

Moved by: Kathy Warren Seconded by: Anne-Marie Koiner	
BE IT RESOLVED THAT PAC/COA/PSC ADJOURN THE TUESDAY, AUGUST 26 TH 2025 MEETING AT 6:12 PM.	
- CARRIED	
_____ Colin Brown, Chair	_____ Brenda Guy, Committee Secretary

PLANNING REPORT

TO: PLANNING ADVISORY COMMITTEE

FROM: PLANNING AND DEVELOPMENT

MEETING DATE: TUESDAY, OCTOBER 28, 2025

SUBJECT: DP2025-15 – 230 VICTORIA AVENUE
CLASS II DEVELOPMENT PERMIT

Background:

Property: 230 VICTORIA AVENUE

Legal Description: PLAN 86 LOT 281 GAN R WS

Official Plan: RESIDENTIAL

Development Permit: RESIDENTIAL

Lot Coverage: 35% MAXIMUM

Purpose and Effect:

To permit a new porch in the front yard of the existing single detached family dwelling addressed as 230 Victoria Avenue. The property has legal non-conforming status for the front yard setback of 6m to 4.4m as the dwelling was constructed in 1950 according to the Municipal Property Assessment Corporation records.

The request is to seek relief for the reduction in the maximum permitted projection of an unenclosed porch into the required front yard setback of 3m to 2m. The new porch is proposed to be constructed in the dimensions of 2.4m deep by 7.9m wide consisting of 19m² and will have a staircase located at the north side of the structure closer to the existing graveled driveway.

Background:

The subject property is 60' x 121' and contains an existing single storey detached residential dwelling, detached garage and existing shed. The property is adjacent existing single family dwellings.

The intent is to remove the existing concrete porch at the front of the dwelling consisting of an area of 1m x 1.3m. The concrete porch is presently in a state of disrepair and not safe for use. An existing concrete walkway from Victoria street to the dwelling is proposed to be removed as part of this project. The existing tree in the front yard will remain.



View of the front of the existing dwelling

PROVINCIAL PLANNING STATEMENT:

The Provincial Planning Statement, 2024 (PPS) provides direction on matters of provincial interest pertaining to land use planning and all development proposals must be consistent with the policies therein. The full PPS document can be found at <https://www.ontario.ca/page/provincial-planning-statement-2024>. Policies which repeat or are not relevant to the current proposal have been omitted from commentary below.

2.1 Planning for People and Homes

6. Planning authorities should support the achievement of *complete communities* by:
 - a) accommodating an appropriate range and mix of land uses, *housing options*, transportation options with *multimodal* access, employment, *public service facilities* and other institutional uses

2.2 Housing

1. Planning authorities shall provide for an appropriate range and mix of *housing options* and densities to meet projected needs of current and future residents of the *regional market area* by:
 - b) permitting and facilitating:
 1. all *housing options* required to meet the social, health, economic and well-being requirements of the current and future residents, including *additional needs housing* and needs arising from demographic changes and employment opportunities; and

Settlement Areas and Settlement Area Boundary Expansions

2.3.1 General Policies for Settlement Areas

Settlement areas shall be the focus of growth and development.

2.4 Strategic Growth Areas

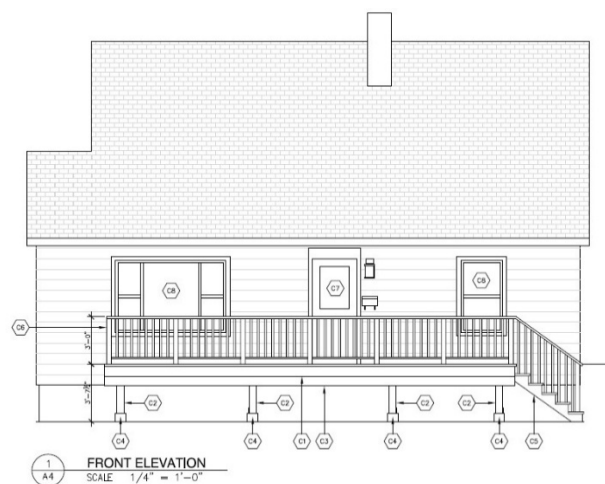
2.4.1 General Policies for Strategic Growth Areas

1. Planning authorities are encouraged to identify and focus growth and development in *strategic growth areas*.

2. To support the achievement of *complete communities*, a range and mix of *housing options*, *intensification* and more mixed-use development, *strategic growth areas* should be planned:
 - a) to accommodate significant population and employment growth;
 - d) to support *affordable*, accessible, and equitable housing.
3. Planning authorities should:
 - c) permit *development* and *intensification* in *strategic growth areas* to support the achievement of *complete communities* and a *compact built form*;

COMMENT:

The proposal is in keeping with the direction of the Province as the new porch will meet the needs and well-being requirements of the current residents. The property is located within an existing serviced built-up residential neighbourhood. No additions are proposed to the interior of the existing building as all work will be undertaken for the new porch to the exterior front of the existing residential dwelling. The property has existing municipal services provided to the dwelling.



OFFICIAL PLAN:

The subject property is designated Residential within the Official Plan.

Goals and Objectives (3.2.1)

The goal of the Residential designation is to promote a balanced supply of housing to meet the present and future social and economic needs of all segments of the community while providing opportunities to develop new residential uses in mixed use buildings as well as non-residential neighbourhood components such as schools, community facilities, places of worship, parks and local commercial uses.

Permitted Uses (3.2.2.1)

Permitted residential uses shall include a full range of dwelling types from low density single-detached dwellings to high density apartment dwellings.

Compatibility (3.2.2.4)

Ensure that all new development, including infill residential development in existing neighbourhoods, maintains or enhances the surrounding area and is compatible with respect to built form, scale, urban design, intensity of use and streetscape.

COMMENT:

The proposal is consistent with the overall intent, goals and objectives of the Residential designation of the Official Plan and provides for improvements to be made to an existing affordable housing supply. The proposed new porch will meet the needs of the residents in providing increased accessibility and mobility at the front entrance.

Development criteria will be addressed within the Development Permit By-law review.

DEVELOPMENT PERMIT:

The subject property is designated Residential within the Development Permit By-law. The intent of the designation is to provide respectful and appropriate development and infill that considers the design criteria.

The existing dwelling appears to be a legal non-complying structure as the building predates the current Development Permit By-law. The front yard setback of the existing dwelling is 4.4m and not the required 6m for the front yard setback.

Established Building Line in Built-Up Area (Section 3.12)

The Development Permit By-law notes that, notwithstanding the yard setback provisions of the By-law where a permitted building is to be erected on a lot in a built-up area, such permitted building may be erected closer to the street line or the centreline of the street of the street if the existing building(s) on the adjacent lot(s) is (are) closer to the street line or centreline than the By law provisions permit.

Non-Conforming Uses and Non-Complying Uses (Section 3.28)

This provision in the Development Permit By-law applies to the continuance of existing uses. The By-law states that an addition to an existing structure may be applied provided the extension does not further reduce the requirements of the By-law.

Permitted Projections (Section 3.35)

Every part of any yard required by this By-law shall be open and unobstructed by any structure from the ground to the sky except that those structures listed in the table such as unenclosed porch, patio balconies, etc.

Structure	Maximum Projection into required Yard	Proposed
Unenclosed Porch, patio, balconies or steps	No maximum into any side yard and 3.0m (9.8ft) in any required front or rear yard	2.0m – relief requested for the front yard setback



View of the front yard looking south



View of the front yard looking north

Site Provisions (5.3.2)

The following site provisions are based on the primary use of a single detached dwelling.

Site Provision	Requirements	Existing/Proposed
Lot Area	464 m ²	2217 m ²
Lot Coverage (maximum)	35%	20%
Lot Frontage	15 m	36.9 m
Front Yard Setback	6 m	4.4m existing
Exterior Yard Setback	4.5 m	n/a
Interior Side Yard (north)	1.2 m	3.4 m
Interior Side Yard (south)	1.2 m	4.4 m
Rear Yard Depth	7.5 m	21.9 m
Building Height (max)	11 m	existing

COMMENT:

The required minimum front yard setback in the Residential designation is 19.7ft (6.0m). The front yard setback for the existing dwelling is 14.4 ft (4.4m) and is determined to be legal non-conforming as it was constructed prior to the passing of the by-law.

Section 3.12 established building line in built-up area was considered in this application but was deemed to not be applicable given the dwellings on both the north and south sides appear to be flush with the subject property.

According to Section 3.35 an unenclosed porch is permitted to encroach 9.8ft (3.0m) into the front yard. The proposal is to construct an unenclosed porch at the front of the existing residential dwelling. Relief is being requested to further reduce the permitted projections into the front yard setback for an unenclosed porch from 3m to 2m.

The new porch will provide for improvements for accessibility and mobility for the residents at the front entrance of the dwelling. The applicant had indicated that a future lift may be installed adjacent to the new staircase in the event that mobility of the staircase cannot occur.

There will be no impact to the adjacent properties.

CIRCULATION TO AGENCIES

Circulation of 120 m to adjacent property owners and prescribed agencies (comments received to date):

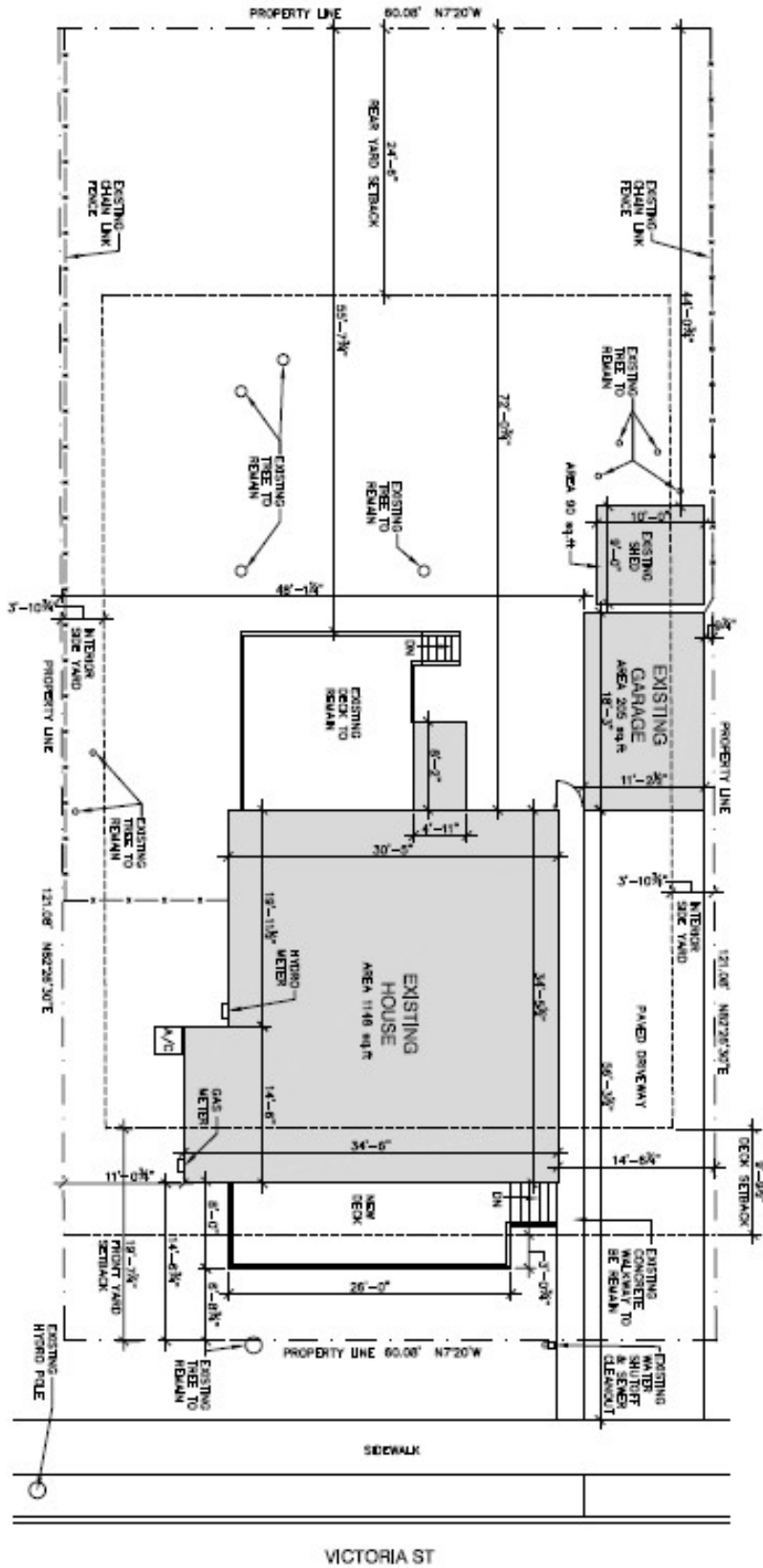
CAO	
Chief Building Official	
CRCA	
School Boards: CDSBEO/UCDSB Health Unit: South East Health Unit	The UCDSB has no comment
Utilities/Public Works: Bell Canada/ Canada Post/ Cogeco/Enbridge Gas/ Eastern Ontario Power/Hydro One (OPG)	
EMS: Fire/LG Paramedic/Police	
Public Works, Water/Sewer Utilities	
St. Lawrence Parks Commission/ MTO/ Other Commenting Agencies	
Neighbourhood: Posting and 120m Circulation	No comments were received from the public

Staff have no objection to application DP2025-15 (Mackenzie-Gray) at 230 Victoria Avenue to permit the reduction in the maximum permitted projection for an unenclosed porch only into the required front yard setback from 3m to 2m in the dimensions of 2.4m by 7.9m consisting of 19m² subject to the following conditions:

- All costs associated with fulfilling the conditions of this decision are borne by the Owner, and
- The Owner fulfill all conditions within one year of this approval or the application will lapse.

APPROVAL	
	Trudy Gravel, Assistant Planner
	Brenda Guy, Manager of Planning and Development

Site Plan of 230 Victoria Avenue



NOTICE OF MEETING Proposed Class II Development Permit

TAKE NOTICE that the Planning Advisory Committee/Committee of Adjustment for the Town of Gananoque will hold a Meeting on **TUESDAY, OCTOBER 28, 2025 at 6:00 P.M.** via **TELECONFERENCE*** and **IN-PERSON** in the TOWN OF GANANOQUE COUNCIL CHAMBERS, 30 KING STREET EAST to consider the following application.

*The **TOLL-FREE PHONE NUMBER** and **ACCESS CODE** will be found on the meeting agenda, posted to the Town website at <https://www.gananoque.ca/town-hallpublic-meetings/planning-advisory-committee-meeting-october-28-2025> prior to the meeting.

File No. **DP2025-15**

OWNER: **Daniel Chabot**

APPLICANT: **Catriona Mackenzie- Gray**

The property municipally and legally described as

**230 Victoria Avenue
PLAN 86 LOT 281 GAN R WS
TOWN OF GANANOQUE**

has applied to the Town of Gananoque for an application for a Development Permit to
**CONSTRUCT A FRONT PORCH THAT ENCROACHES INTO THE FRONT YARD
WITH RELIEF FOR THE FRONT YARD SETBACK TO 2M**

Additional information in relation to the proposed development permit is available for inspection at the Town Hall Administration Offices located at 30 King Street East, Gananoque, ON, on the Town website at <https://www.gananoque.ca/town-hall/meetings>, by emailing assistantplanner@gananoque.ca or by calling Trudy Gravel 613-382-2149 ext. 1129.

If you wish to provide comment or input you may do so at the public meeting or in writing prior to the meeting.

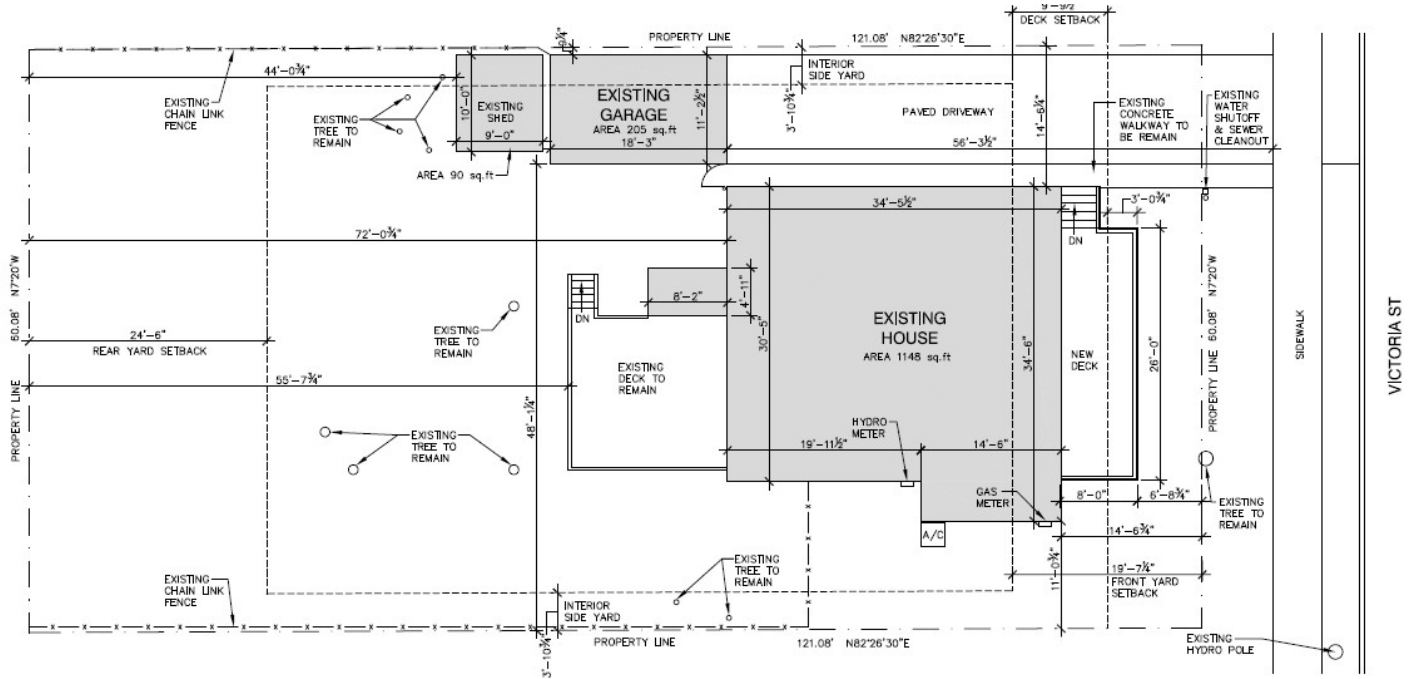
Note: Only the applicant of a development permit has a right to appeal a decision or non-decision on an application to the Ontario Land Tribunal where the application meets the requirements established through the official plan and development permit by-law.



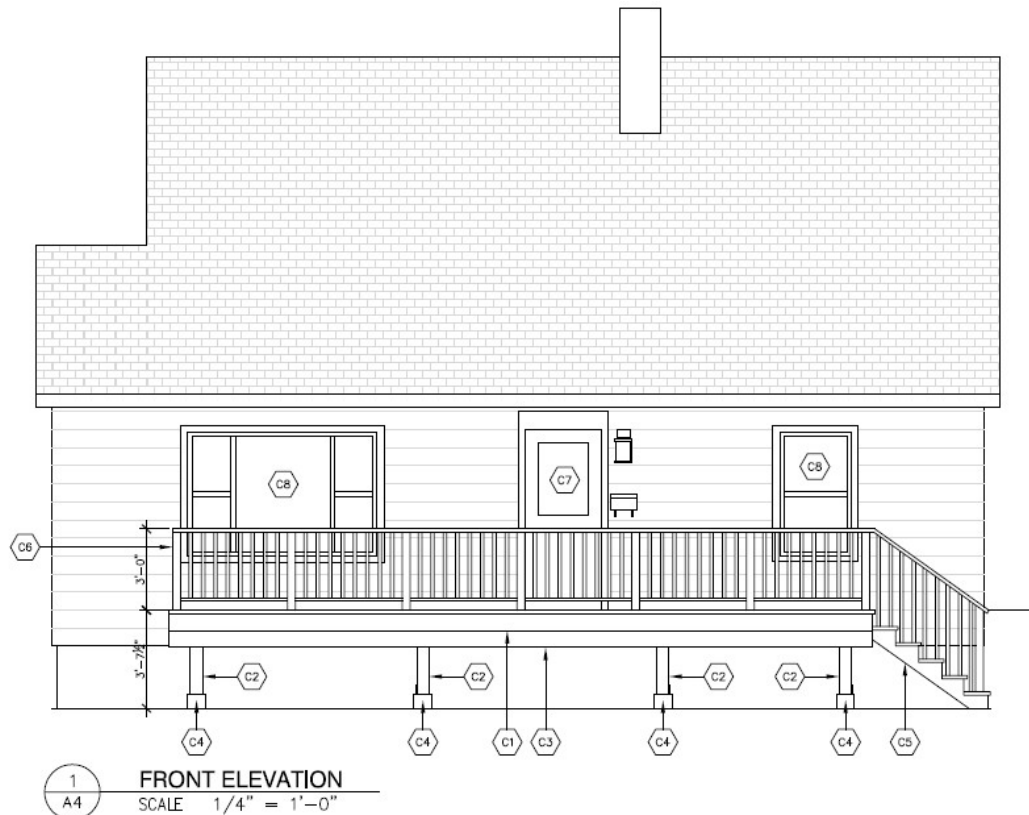
DATED this 1ST day of OCTOBER 2025

Brenda Guy
Manager of Planning and Development
bguy@gananoque.ca
613-382-2149 ext. 1126

Site Plan



Elevation Plan





APPLICATION FOR DEVELOPMENT PERMIT APPROVAL
Section 70.2 of the Planning Act, RSO 1990, as amended

This application form **MUST** be accompanied with **all** the submission requirements in order to be considered a complete application. **Incomplete applications will not be processed until all information is provided.**

A Pre-consultation meeting with Planning and Development staff is **REQUIRED PRIOR TO SUBMISSION** of this application. At that time, approval stream and submission requirements will be determined. **ALL** applications require the following:

ALL applications require the following:

- ☐ Complete application form signed including declaration of applicant*
- ☐ Proof of ownership, deed of property or offer to purchase and sale*
- ☐ Legal survey and/or Building Location Survey for the subject property*
- ☐ If the development is for commercial and/or employment, multi-residential – One (1) large scale paper copy of all plans shall be submitted along with one set of reduced 11" x 17" of all plans and your electronic copy. Plans are to be in a standard scale format (1:250 1:500)
- ☐ Application fee as outlined in the pre-consultation form payable to the Town of Gananoque*
- ☐ Deposit fee as outlined in the pre-consultation form payable to the Town of Gananoque*
- ☐ Fees payable to the Cataraqui Region Conservation Authority, if applicable. Contact the CRCA for more information.

CONTACT INFORMATION		
Municipal Freedom of Information and Protection of Privacy Act – Personal Information on this form is collected under authority of The Planning Act and will be used to process this application.		
Name of Applicant:	Complete Address including Postal Code:	Phone:
	CATRIONA MacKenzie-Gray 230 VICTORIA AV K7G 2S4	613 888 4848
	E-mail:	
	cassshay05@gmail.com	
Name of Property Owner (if different than applicant):	Complete Address including Postal Code:	Phone:
	Daniel Chabot 230 VICTORIA AV K7G 2S4	613 532-1587
	E-mail:	
	chabd63@gmail.com	
Architect/Designer/Planner:	Complete Address including Postal Code:	Phone:
	E-mail:	
Engineer:	Complete Address including Postal Code:	Phone:
	E-mail:	
Land Surveyor:	Complete Address including Postal Code:	Phone:
	E-mail:	

PROPERTY			
Street or Property Address (if applicable):		Roll Number (if known):	
230 Victoria Ave		081406001049800	
LEGAL DESCRIPTION			
Lot/Con/Plan:			
PLAN 86 LOT 281 GAN RWS			
Frontage (m/ft):	Depth (m/ft):	Lot Area:	
18.31m (60.08')	36.91m (121.08')	7274 SQ.FT	

SUBMISSION REQUIREMENTS

The applicant/agent is responsible for ensuring that the submission requirements are met, including confirming that all the information listed below is shown on the required plans by checking off each box.

☒ **Site Plan(s)** including scaled accurate measurements of:

- Title, location and date of project including legend and scale (graphic bar scale as well as written ratio scale);
- Dimensions and areas of the site including existing natural and artificial features i.e: buildings, watercourses, wetlands, woodlands.
- Dimensions and gross floor area of all building and structures to be erected;
- Existing structures to be retained, removed or relocated;
- Distances between lot lines and the various buildings, structures, parking areas, driveways and other features;
- Proposed elevation of finished grades including area to be filled or excavated, retaining walls, drainage ditches;
- Parking areas including number, size of spaces and dimensions. The plans shall have regard for **Ontario Regulation 413/12 made under Accessibility for Ontarians with Disabilities Act, 2005**. This shall include, but not be limited to, providing appropriate designated parking spaces and unobstructed building access features.
- Access driveways including curbing and sidewalks
- Proposed fire routes and fire route sign locations
- Dimensions and locations of loading zones, waste receptacles and other storage spaces;
- Location, height and type of lighting fixtures including information on intensity and the direction in which they will shine relative to neighbouring streets and properties;
- Location of sign (sign permit to be applied for through the Building Permit process) as per By-law 2005-41;
- Location, type and size of any other significant features such as fencing, gates and walkways.

☐ **Drainage Plan(s)** including scaled accurate measurements of:

- Drainage Plan must demonstrate proposed development is handled on-site and does not infringe on neighbouring properties;

☐ **Landscape Plan(s)** including scaled accurate measurements of:

- Landscape Plan showing size, type and location of vegetation, areas to be seeded or sod. Plan to show existing landscape features to be retained, removed or relocated;

☐ **Site Servicing Plan(s)** including scaled accurate measurements of:

- Site Servicing Plan (plan/profile) including layout of existing water, sewer, gas lines, proposed connections, utility easements, fire hydrants, hydro poles, lighting, trees, transformers and pedestals.

☐ **Grade Control and Drainage Plan(s)** including scale accurate measurements of:

- Existing elevations on subject and adjacent lands and long centerline or adjacent street lines, which are to be geodetic;
- Location of any creeks, ravines or watercourses with elevations and contours;
- Arrows indicating the proposed direction of flow of all surface water;
- Location and direction of swales, surface water outlets, rip-rap, catch basins, rock, retaining walls, culverts
- Existing and/or proposed right-of-ways or easements

☒ **Elevation and Cross-Section Plan(s)** including scale accurate measurements of:

- Coloured elevation drawings or renderings of each side of the building to include materials being used and their consideration to the neighbourhood (PHOTOS OF EXISTING BUILDING ARE PERMITTED IF NO ADDITIONS ARE BEING UNDERTAKEN)
- Drawings that show plan, elevations and cross section views for each building or structure to be erected;
- Conceptual design of building;
- Relationship to existing buildings, streets and exterior areas to which members of the public have access to;
- Exterior design including character, scale, appearance and design features of the proposed building;
- Design elements of adjacent Town road including trees, shrubs, plantings, street furniture, curbing and facilities designed to have regard for accessibility
- Photographs of the subject land and abutting streetscape on both side of the street

☐ **Supporting Studies and Reports.** Technical reports/plans or studies may be required to assist in the review process of a Development Permit Application. Applications for Development Permit may be required to submit the following studies or reports. Applicants should consult with Municipal staff to determine site specific requirements:

- | | |
|---|---|
| <input type="checkbox"/> Air, Noise or Vibration Study | <input type="checkbox"/> Sanitary System Design & sufficient capacity |
| <input type="checkbox"/> Archaeological Study | <input type="checkbox"/> Servicing Options Report |
| <input type="checkbox"/> Drainage and/or stormwater management report | <input type="checkbox"/> Source Water Protection – Risk Management Assessment |
| <input type="checkbox"/> Environmental Impact Assessment for a natural heritage feature or area | <input type="checkbox"/> Sun/Shady Study |
| <input type="checkbox"/> Erosion and Sediment Control Plan | <input type="checkbox"/> Traffic Study |
| <input type="checkbox"/> Geotechnical Study and Hydrogeological Study | <input type="checkbox"/> Vegetation Inventory/Preservation |
| <input type="checkbox"/> Heritage Resource Assessment/Study | <input type="checkbox"/> Visual Impact Assessment |
| <input type="checkbox"/> Hydrogeology/Groundwater Study | <input type="checkbox"/> Water Distribution System & sufficient capacity |
| <input type="checkbox"/> Phase I Environmental, investigation if required | <input type="checkbox"/> Wave Uprush Study |
| <input type="checkbox"/> Form 1's – Record of Future Alteration (Water, Sewer and Storm) | <input type="checkbox"/> Supporting Land Use Planning Report |
| | <input type="checkbox"/> Other: |

NOTES TO OWNER/APPLICANT:

- Applications may be subject to any Town incurred costs over and above the fees set out (See By-law 2016-047) being a by-law to establish general fees and rates for various services provided by the municipality). This is in the form of a deposit fee in the amount of \$2,000 payable to the Town of Gananoque for peer reviews of various studies as outlined in the application.
- Cataraqui Region Conservation Authority (CRCA) - Applications may be subject to review and a separate cheque payable to the CRCA. Fees are identified on the CRCA website <https://cataraquiconservation.ca/pages/permit-fees>. The Town recommends that you consult with a Conservation Authority Officer prior to making application.
- The applicant/owner may be required to provide 100% security of the cost of works in the form of a Letter of Credit or Certified Cheque upon signing of the Development Permit Agreement for all Class III applications and any Class that may require a background study or legal registration of documents.
- Security will remain with the Town until such time as the works are completed for any agreement. A 15% holdback will be maintained for a period of one year after the works are completed. This will be applicable at the time of agreement.

Existing Use(s):

Single Family Home

Length of time the existing use of the subject lands have continued:

75 YEARS

Has the property been designated as a Heritage Site?

☐ Yes☒ No

Is the property presently under a Site Plan/Development Permit Agreement?

☐ Yes☒ No

Has the property ever been subject of an application under Section 34 (Zoning), 41 (Site plan) or 45 (Minor Variance) of the Planning Act?

☐ Yes☒ No

Has the property ever been subject of an application under Section 70.2 (Development Permit By-law) of the Planning Act?

☐ Yes☒ No

If the property has been subject of applications under the Planning Act noted above, provide the file number(s) and the status of the application?

Proposed Use(s):

Single Family Home

NEW DECK

Is the Use permitted or permitted subject to criteria as set out in the development permit by-law?

☒ Yes☐ No

How has the applicable criteria have been addressed?

Is/Are variation(s) requested?

☒ Yes☐ No

If yes, what variation is requested and why?

To allow new deck to encroach into existing front yard setback

TO MAKE ACCESSIBLE

Demonstrate how the proposed variation meets the criteria as set out in the development permit by-law.

REQUIRES RELIEF FOR FRONT YARD SETBACK.

Abutting Land Use(s) – east, west, north, south:

Residential

Is the Development to be phased?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
What is the anticipated date of construction?	Fall 2025
Is the land to be divided in the future?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Are there any easements, right-of-ways or restrictive covenants affecting the subject land?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, please provide details (and copies of covenants with application submission).	

Plan Details: Please ensure that measurements are consistent with plan			
<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial	<input type="checkbox"/> Employment Lands/ Industrial	<input type="checkbox"/> Institutional
Building Coverage: 20 (%) 134 (sq.m)		Landscape Coverage: 64 (%) 434 (sq.m)	
Building Height: 5.36m	No. of Storeys: 2	No. of Units: 1	Storage of Garbage: INTERNAL

Parking Area:	Existing Parking Surface			
	<input type="checkbox"/> Paved <input checked="" type="checkbox"/> Gravel <input type="checkbox"/> Permeable Parking Area <input type="checkbox"/> Other			
	Proposed Parking Surface:			
	<input type="checkbox"/> Paved <input checked="" type="checkbox"/> Gravel <input type="checkbox"/> Permeable Parking Area <input type="checkbox"/> Other			
	# of Existing Parking Spaces 3	# of New Parking Spaces 0	# of Accessible Parking Spaces	Total # of Parking Spaces 3
	Dimension of Parking Spaces (m/ft): 2.7m x 6m		Dimensions of Accessible Parking Spaces (m/ft):	

LOADING SPACES, if applicable: N/A	Number of Loading Spaces:	Dimensions of Loading Spaces (m/ft):
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Heritage Tourist Inn/Bed and Breakfast/Short Term Accommodation*:		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Is this an application for a Heritage Tourist Inn?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Number of Guest Rooms:	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6
NOTE: A Heritage Tourist Inn will require a Heritage Resource Assessment evaluating the heritage significance of the property including a description of historic features is required with the submission of this application.			
Is this an application for a Bed and Breakfast?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Number of Guest Rooms:	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3
Is this an application for a Short Term Accommodation?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Number of Guest Rooms:	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3

Access*:	Potable Water*:	Sewage Disposal*:	Stormwater*:
<input checked="" type="checkbox"/> Municipal Street	<input checked="" type="checkbox"/> Town Owned/operated Water System	<input checked="" type="checkbox"/> Town Owned/Operated Sewage System	<input checked="" type="checkbox"/> Town Owned/Operated Sewers
<input type="checkbox"/> Existing Private Road/ Lane	<input type="checkbox"/> Private Well	<input type="checkbox"/> Private Septic and Tile Field	<input type="checkbox"/> Swales
<input type="checkbox"/> Existing Right-of-way	<input type="checkbox"/> River	<input type="checkbox"/> Other	<input type="checkbox"/> Ditches
<input type="checkbox"/> Unopen Road Allowance	<input type="checkbox"/> Other:		<input type="checkbox"/> Other
<input type="checkbox"/> Other:			

Provide any applicable hook-up approvals and/or permit number(s) applicable to the above:

Water Access (where access to the subject land is by water only)	
Docking Facilities (specify) distance from subject land <u>N/A.</u>	Parking Facilities (specify) distance from subject land _____
distance from nearest public road _____	distance from nearest public road _____

EXISTING BUILDINGS:	Building 1 - Primary	Building 2 - Accessory
Type of Structure (ie: wood concrete)	Wood	Wood
Date Constructed:		
Front Line Setback:	14'-6 3/4"	56'-3 1/2"
Rear Lot Line Setback:	72'-0 3/4"	44'-0 3/4"
Side Lot Line Setback:	14'-6 1/4"	9 1/4"
Side Lot Line Setback:	11'-0 3/4"	48'-1 1/4"
Height:	17'-7"	10'-0" +/-
Dimensions:	34'-5 1/2" x 34'-6" (varies)	18'-0 x 11'-2 1/2" 9'-0" x 10'-0"
Floor Area:	1148 sq.ft	205 sq.ft 90 sq.ft

PROPOSED BUILDINGS:		Building 1 - Primary	Building 2 - Accessory
	Type of Structure (ie: wood concrete)		
	Proposed Date of Construction:		
	Front Line Setback:		
	Rear Lot Line Setback:		
	Side Lot Line Setback:		
	Side Lot Line Setback:		
	Height:		
	Dimensions:		
Floor Area:			
Attached Additional Page, if necessary			

AUTHORIZATION BY OWNER

I/We, the undersigned being the registered owner(s) of the subject lands, hereby authorize Catrina Mackenzie-Gray (print name) to be the applicant in the submission of this application. Furthermore, I/we, being the registered owner(s) of the subject lands, hereby authorize Town of Gananoque members of Council, Committee of Council and Municipal Staff, to enter upon the property for the purposes of conducting a site inspection with respect to the subject application.

Daniel Chabot

Owner Name (Please Print)

[Signature]

Signature of Owner

[Signature]

Signature of Witness (not applicant)

Owner Name (Please Print)

Signature of Owner

Date

CONSENT BY OWNER

I/We, Daniel Chabot, (print name(s) am/are the registered owner(s) of the land that is the subject of this application for Development Purposes and for purposes of the Municipal Freedom of Information and Protection of Privacy Act. I/We hereby authorize the use, or disclosure, to any person or public body, of any personal information collected under the authority of the Planning Act of the purpose of processing this application.

[Signature]

Signature of Owner

[Signature]

Signature of Witness (not applicant)

Signature of Owner

29 Sept 2025

Date

DECLARATION OF APPLICANT

(Print) I, CATRINA MACKENZIE-GRAY of the TOWNSHIP of LEEDSE THOUSAND ISLANDS in the COUNTY of LEEDS GRENVILLE solemnly declare that:

I understand that the applicant/owner will be required to provide 100% security of the outside works in the form of a Letter of Credit or Certified Cheque until such time as the works are completed. A 15% holdback will be maintained for a period of one year after the works are completed. This will be applicable at the time of agreement.

All of the above statements contained in the application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under Oath and by virtue of *The Canada Evidence Act*.

Declared/Sworn before me at

GANANOQUEthis 29TH day of SEPTEMBER, 2025.

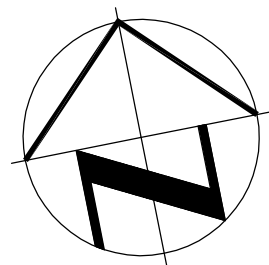
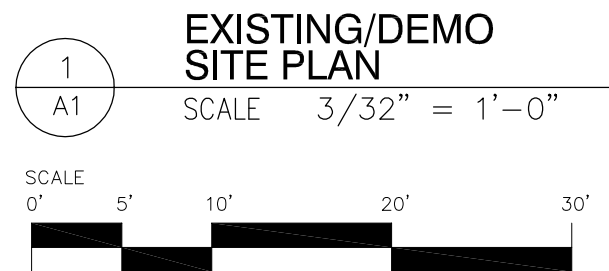
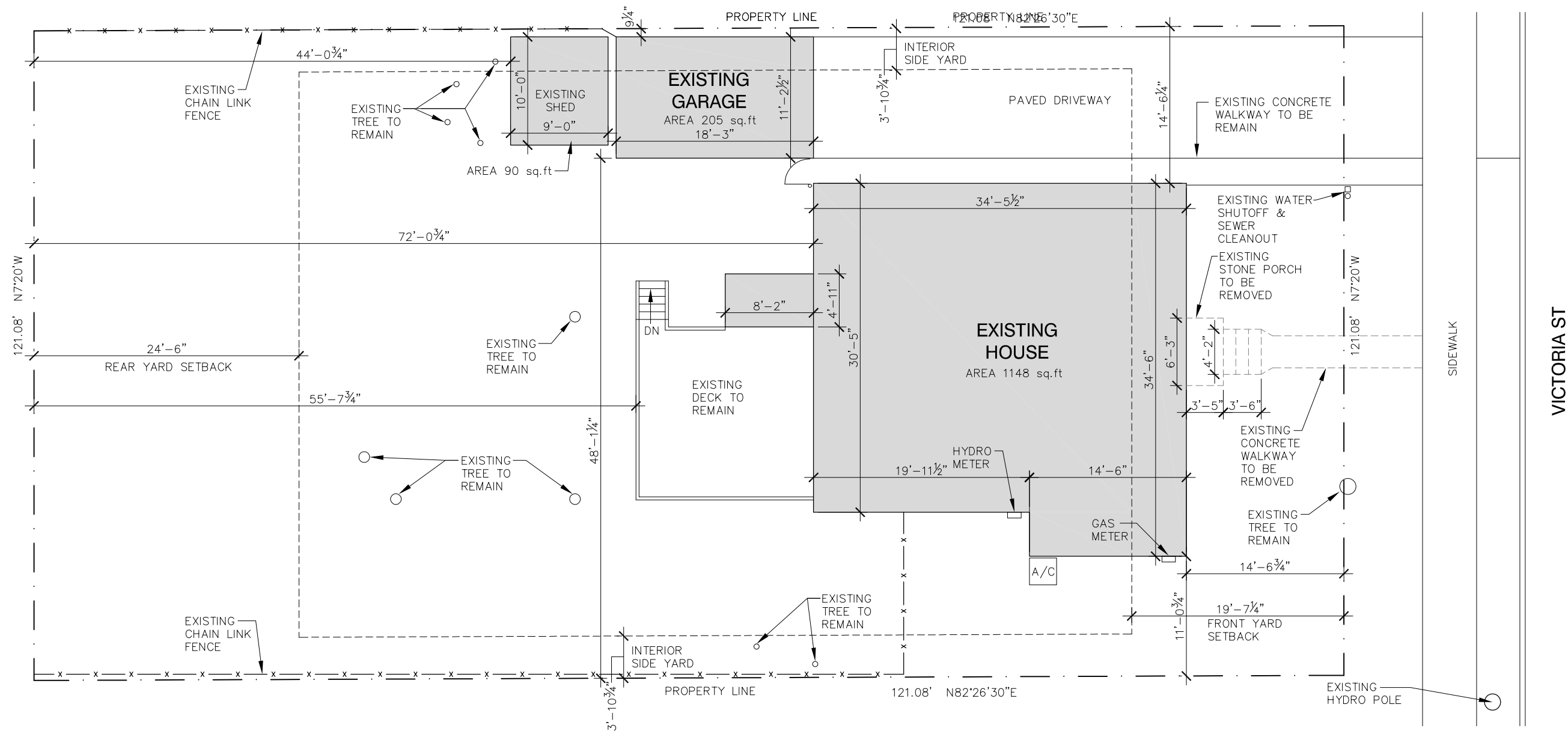
Commissioner
Lynsey Zufelt
Town of Gananoque
Lynsey Zufelt, Deputy Clerk
Signature of a Commissioner, etc

[Signature]

Signature of Applicant

Office Use Only:		Roll No: 081400001049800
Official Plan Designation: Residential	Development Permit Designation: Residential	Other:
Access (Entrance Permits etc): Existing	Water and Sewer Hookup (Permits etc): Existing	Other:
Other Concurrent Applications:	<input type="checkbox"/> Cash-in-Lieu of Parking <input type="checkbox"/> condo Approval <input type="checkbox"/> Consent/ Severance	<input type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Subdivision Approval
Date Application Received: September 29, 2025	Date Application Deemed Complete: September 29, 2025	Fees Received: Sept. 29, 25 \$1500

For additional details please contact: Brenda Guy, Manager of Planning and Development
 Town of Gananoque, 30 King Street East, Gananoque, ON K7G 1E9
 (613) 382-2149 ext.1126 E-mail: bguy@gananoque.ca



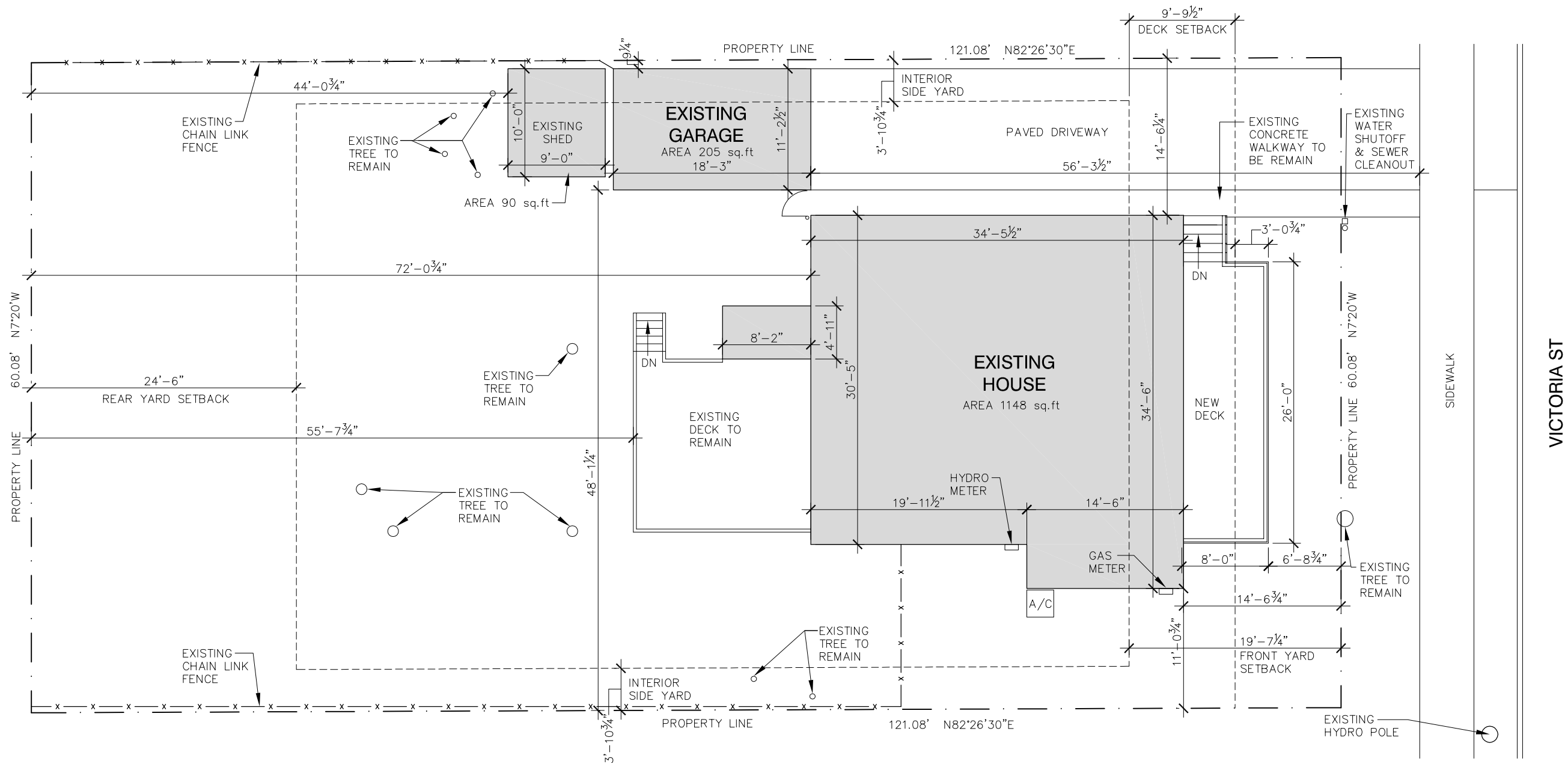
2
A2

KEY PLAN

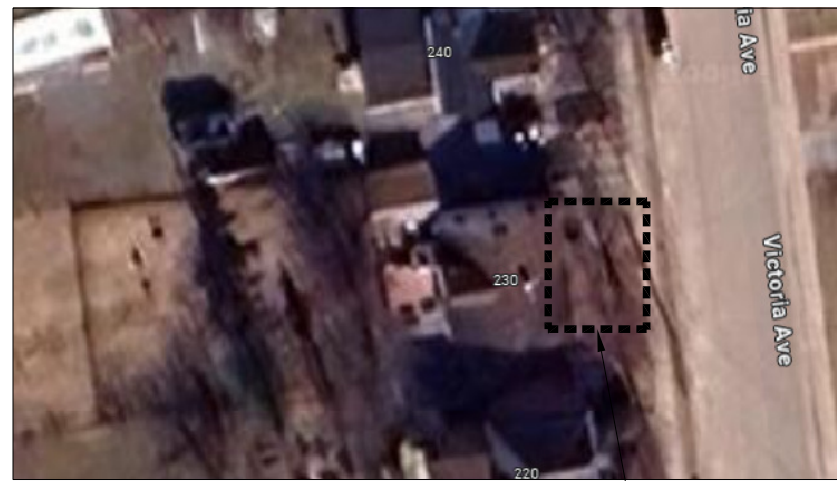
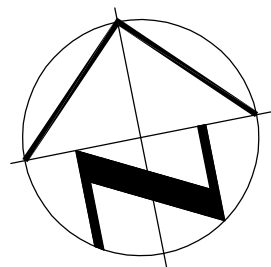
SCALE NTS

EXISTING HOUSE			
ZONING	REQUIRED	EXISTING	PROVIDED
ZONE	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
FRONT YARD MIN	19.6'	14.5'	N/A
REAR YARD MIN	24.5'	72'	N/A
INTERIOR SIDE YARD MIN	3.9'	11'	N/A
EXTERIOR SIDE YARD MIN	N/A	N/A	N/A
LOT AREA MIN	4995 SQ.FT	7274 SQ.FT	N/A
LOT COVERAGE MAX	35%	20%	N/A
PARKING	2	3	N/A

project NEW EXTERIOR DECK	title EXISTING SITE PLAN		
location 230 VICTORIA AVE GANANOQUE, ON	scale 3/32"=1'-0"	job no. 2023-50	
for CAT MACKENZIE — GRAY	date SEP 2025	dwg. no.	



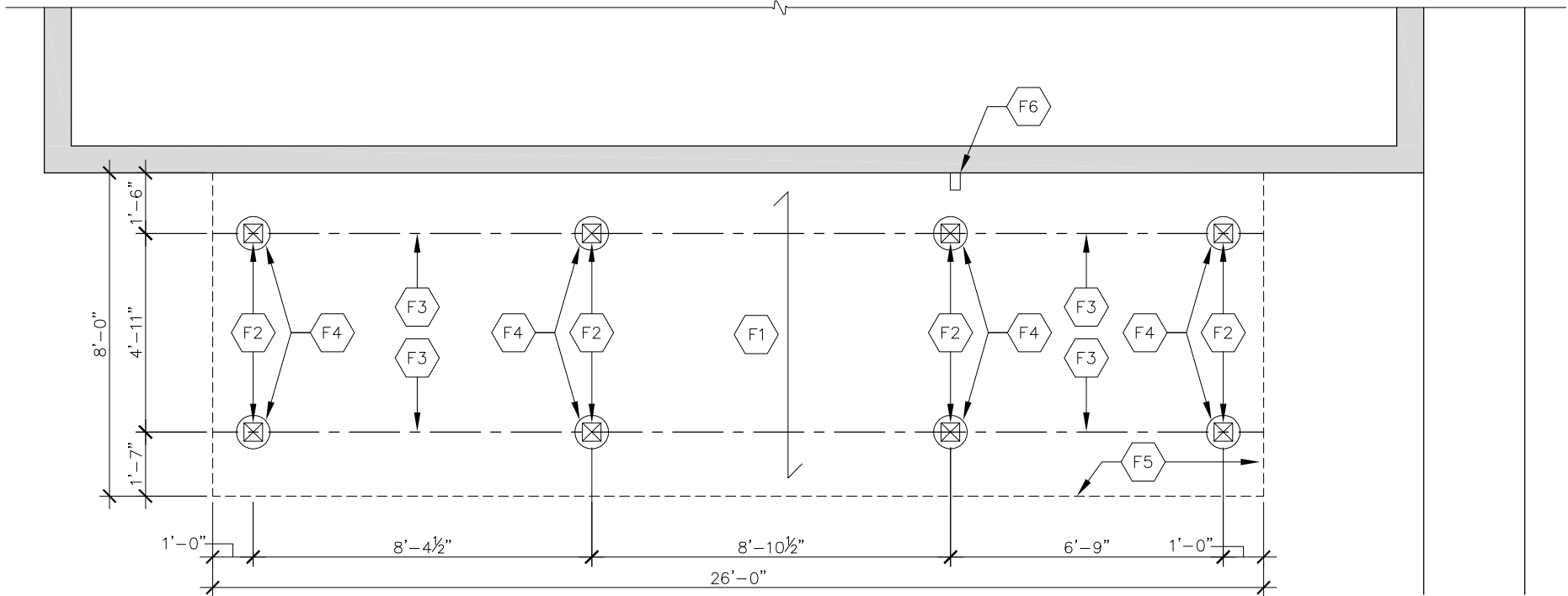
1 SITE PLAN
A2 SCALE 3/32" = 1'-0"



2 KEY PLAN
A2 SCALE NTS

EXISTING HOUSE			
ZONING	REQUIRED	EXISTING	PROVIDED
ZONE	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
FRONT YARD MIN	19.6'	14.5'	N/A
REAR YARD MIN	24.5'	72'	N/A
INTERIOR SIDE YARD MIN	3.9'	11'	N/A
EXTERIOR SIDE YARD MIN	N/A	N/A	N/A
LOT AREA MIN	4995 SQ.FT	7274 SQ.FT	N/A
LOT COVERAGE MAX	35%	20%	N/A
PARKING	2	3	N/A

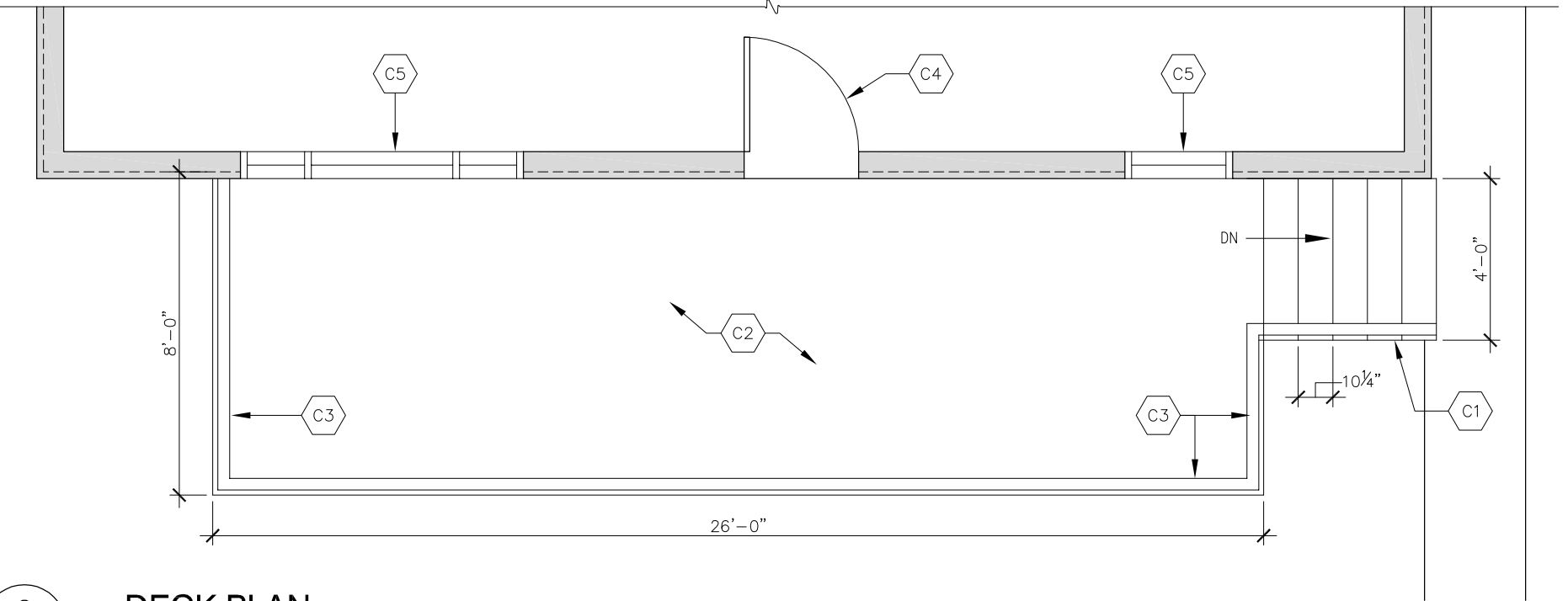
project	NEW EXTERIOR DECK		title	SITE PLAN	
location	230 VICTORIA AVE GANANOQUE, ON		scale	3/32"=1'-0"	job no. 2023-50
for	CAT MACKENZIE — GRAY		date	SEP 2025	dwg. no.



FOUNDATION CONSTRUCTION NOTES

- F1 5/4" PT DECK BOARDS ON 2"X8" PT JOISTS @ 16" O.C.
- F2 6"X6" P.T. WOOD POST W/ GALVANIZED SADDLE
- F3 3 - 2X8" PRESSURE TREATED BEAM W/ GALVANIZED SADDLE
- F4 10" DIA CONCRETE SONOTUBE. 4'-0" DEPTH MIN OR TO BEDROCK.
- F5 LINE OF DECK ABOVE
- F6 EXISTING VENT TO BE MODIFIED AS REQUIRED


1
A3 FOUNDATION PLAN
SCALE 1/4" = 1'-0"

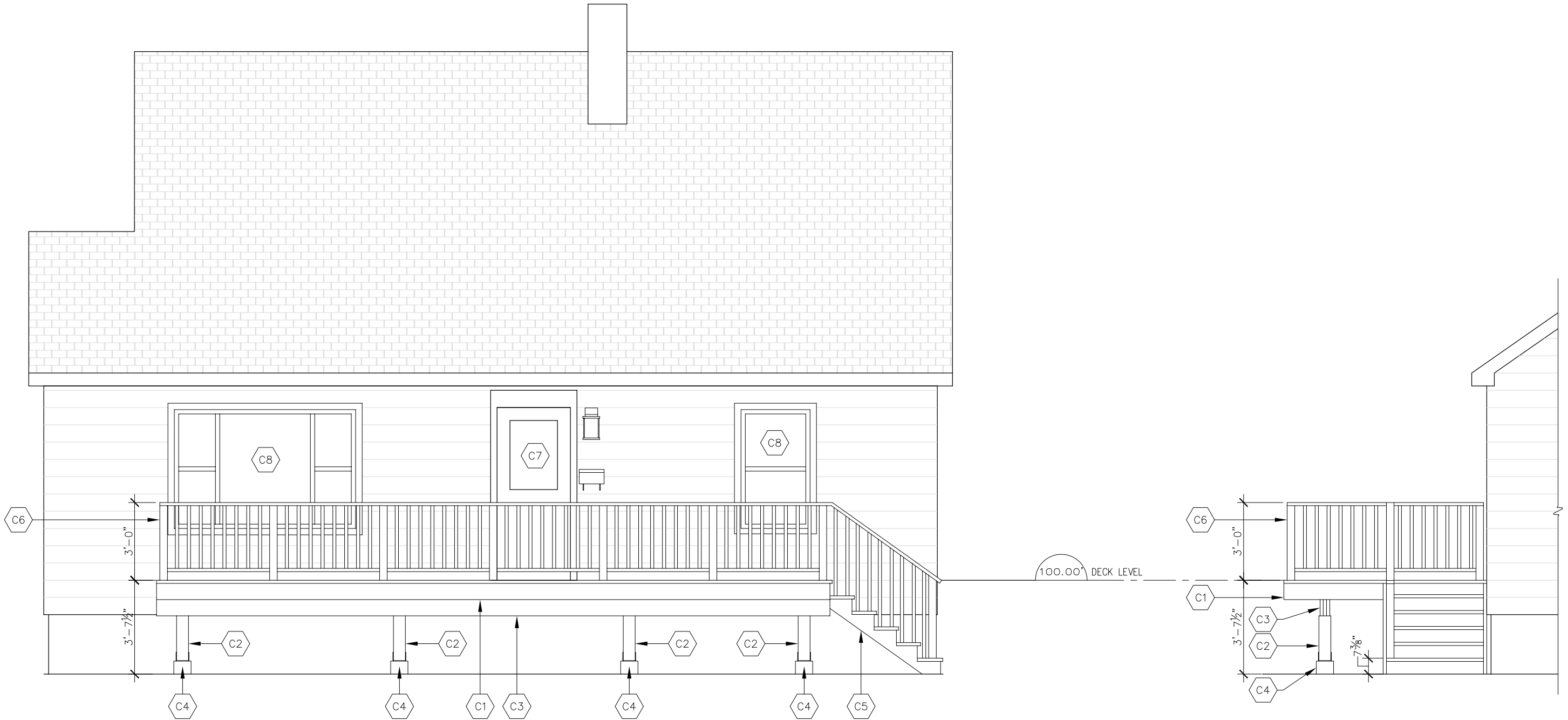


CONSTRUCTION NOTES

- C1 NEW WOOD STAIRS TO MEET THE REQUIREMENTS OF SB-7 & O.B.C. 9.8.
- C2 5/4" PRESSURE TREATED DECK BOARDS
- C3 GUARDS (36" HIGH) TO BE INSTALLED TO MEET THE REQUIREMENTS OF O.B.C. 9.8. SB-7, EA-5, EB-2 & EC-1,
- C4 EXISTING DOOR TO REMAIN
- C5 EXISTING WINDOW TO REMAIN

2
A3 DECK PLAN
SCALE 1/4" = 1'-0"

project	NEW EXTERIOR DECK		title	FOUNDATION & DECK PLAN	
location	230 VICTORIA AVE GANANOQUE, ON		scale	AS NOTED	job no. 2023-50
for	CAT MACKENZIE - GRAY		date	SEP 2025	dwg. no. 



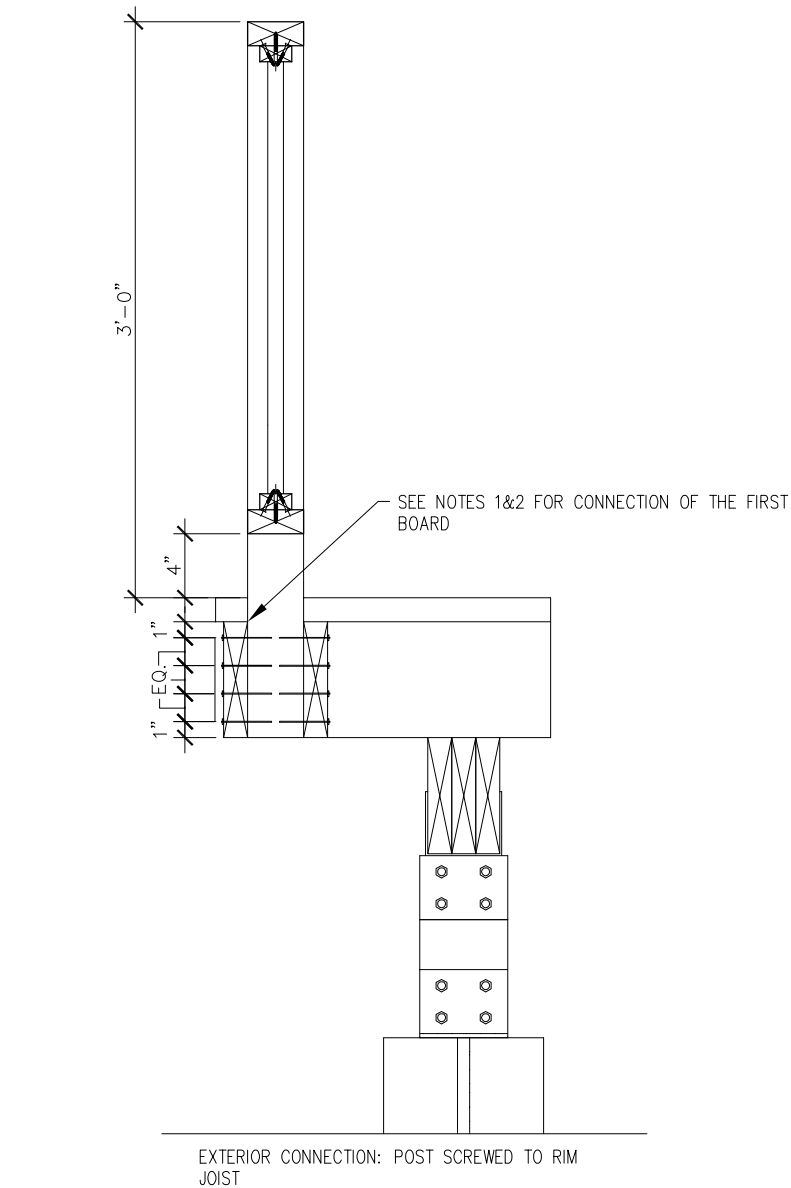
1
A4
FRONT ELEVATION
SCALE 1/4" = 1'-0"

2
A4
SIDE ELEVATION
SCALE 1/4" = 1'-0"

CONSTRUCTION NOTES

- | | | | |
|----|---|----|--|
| C1 | 5/4" PT DECK BOARDS ON 2"x8" PT JOISTS @ 16" O.C. | C5 | NEW WOOD STAIRS TO MEET THE REQUIREMENTS OF SB-7 & O.B.C. 9.8. |
| C2 | 6"x6" P.T. WOOD POST W/ GALVANIZED SADDLE | C6 | GUARDS (36" HIGH) TO BE INSTALLED TO MEET THE REQUIREMENTS OF O.B.C. 9.8. SB-7, EA-5, EB-2 & EC-1, |
| C3 | 3 - 2X8" PRESSURE TREATED BEAM W/ GALVANIZED SADDLE | C7 | EXISTING DOOR TO REMAIN |
| C4 | 10" DIA CONCRETE SONOTUBE. 4'-0" DEPTH MIN OR TO BEDROCK. | C8 | EXISTING WINDOW TO REMAIN |

project	NEW EXTERIOR DECK			title	ELEVATIONS		
location	230 VICTORIA AVE GANANOQUE, ON			scale	AS NOTED	job no.	2023-50
for	CAT MACKENZIE - GRAY			date	SEP 2025	dwg. no.	



1
A5

SB-7 DETAIL EB-2

SCALE 1" = 1'-0"

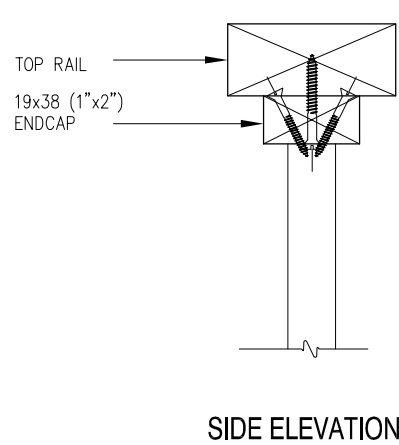
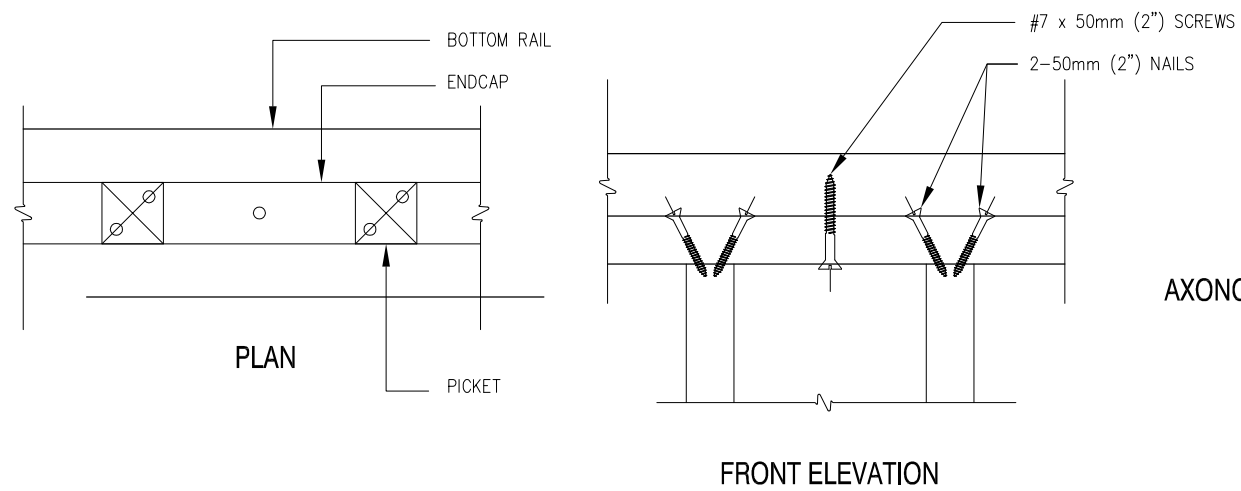
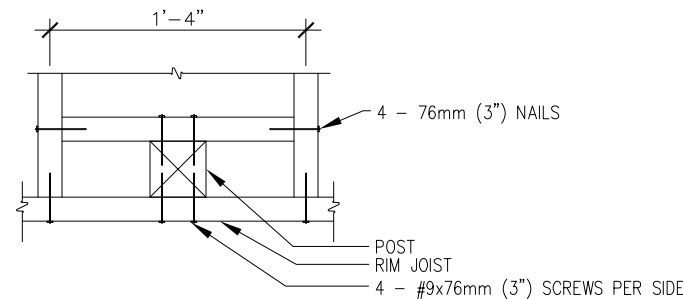
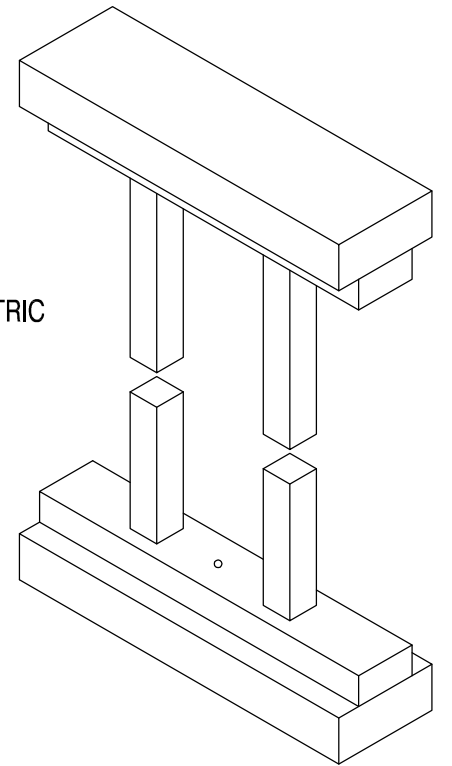


TABLE 2.1.2.
MINIMUM SIZE OF LOADBearing ELEMENTS

GUARD ELEMENT	MINIMUM SIZE,mm (in)
POST	89 x 89 (4" x 4" NOMINAL)
TOP RAIL	38 x 89 (2" x 4" NOMINAL)
BOTTOM RAIL	38 x 89 (2" x 4" NOMINAL)
PICKET/BALUSTER	32 x 32 (1 9/32" x 1 9/32")
COLUMN 1	2

DETAIL EC-1

EXTERIOR CONNECTION: INFILL PICKET NAILED TO ENDCAP - ENDCAP SCREWED TO RAIL



- NOTES
- FASTEN 25mm X 140mm (5/4" X 6") NOMINAL OUTER DECK BOARD TO RIM JOIST WITH 63mm (2 1/2") NAILS AT 300mm (12")
 - FASTEN 25mm X 140mm (5/4" X 6") NOMINAL OUTER DECK BOARD TO FLOOR JOIST WITH 1-63mm (2 1/2") NAIL AT EACH JOIST
 - THE POST MAY BE POSITIONED ANYWHERE BETWEEN THE JOISTS
 - #9 SCREWS MAY BE REPLACED BY #8 SCREWS IF THE MAXIMUM IS NOT MORE THAN 1.20M (3'-11")

MAXIMUM SPAN OF RAIL BETWEEN POSTS	
SPECIES	MAXIMUM SPAN, M (FT-IN)
DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR	1.56 (5'-1")
NORTHERN SPECIES	1.20 (3'-11")
COLUMN 1	2

- NOTES:
- FASTEN EACH END OF EACH PICKET TO ENDCAPS WITH 2-50mm (2") nails.
 - FASTEN ENDCAPS TO RAILS WITH #7 50mm (2") SCREWS AT 300mm (12") o.c.
 - SEE TABLE 2.1.2 FOR MINIMUM SIZES OF PICKETS

project NEW EXTERIOR DECK	title DECK DETAILS		
location 230 VICTORIA AVE GANANOQUE, ON	scale AS NOTED	job no. 2023-50	
for CAT MACKENZIE - GRAY	date SEP 2025	dwg. no. 1	

PLANNING REPORT

TO: PLANNING ADVISORY COMMITTEE

FROM: PLANNING AND DEVELOPMENT

MEETING DATE: TUESDAY, OCTOBER 28, 2025

SUBJECT: OPA8-25 & DP2025-15 – 145 RIVER STREET
GAN FITNESS

Background:

Property: 145 RIVER STREET

Legal Description: PLAN 86 PT LOT 476 PT LOT;477 PT LOT 478 PT LOT 479
RP 28R8089 PART 1

Official Plan: RESIDENTIAL

Development Permit: RESIDENTIAL

Purpose and Effect:

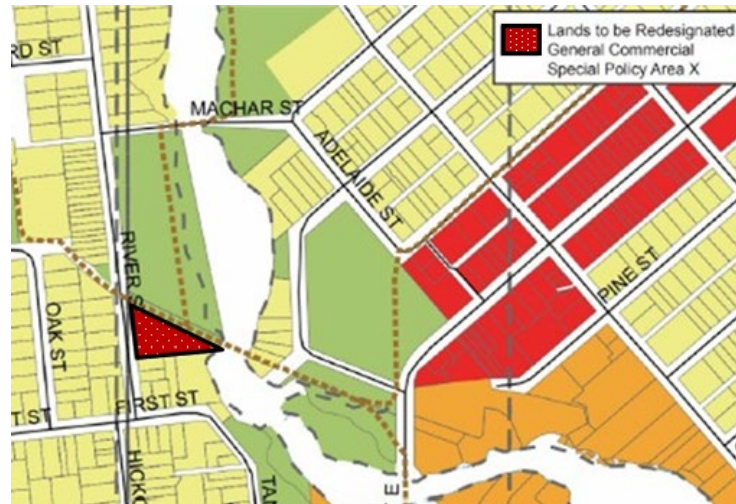
The applicant is seeking an Official Plan Amendment to redesignate the lands from Residential to General Commercial Special Exception for the use of a commercial sports and recreation establishment to include a fitness centre, kayak rentals (no launching) and e-bike rentals promoting a community health hub.

The proposed change is to convert an existing one storey commercial building which currently enjoys a legal non-conforming use. The property is presently used as a flea market primarily operating on weekends and holidays. Two additions are being proposed on the site.

Site Background and Proposal:

The subject property is approximately 2,640m² and is municipally located at 145 River Street on the east side of River Street along the Gananoque River. The property is within the residential designation with open space areas adjacent (Lions' Trail, dog park and Steel Workers Park).

It is proposed that the entire existing building will be converted for the proposed commercial sports and recreation establishment. The additions include an 31m² on the south side at the front of the building to be constructed upon approvals and a two-storey addition 210m² on the east side at the rear of the building to be constructed and operational within 1-2 years. Parking is located to the south and rear of the existing building.



A Development Permit application, File DP2025-13, to redesignate the property from the Residential to a site specific Progressive Commercial Use is being processed concurrently.

PROVINCIAL PLANNING STATEMENT:

The Provincial Planning Statement, 2024 (PPS) provides direction on matters of provincial interest pertaining to land use planning and all development proposals must be consistent with the policies therein. The full PPS document can be found at <https://www.ontario.ca/page/provincial-planning-statement-2024>. Policies which repeat or are not relevant to the current proposal have been omitted from commentary below.

2.1 Planning for People and Homes

6. Planning authorities should support the achievement of *complete communities* by:
- a) accommodating an appropriate range and mix of land uses, *housing options*, transportation options with *multimodal* access, employment, *public service facilities* and other institutional uses (including schools and associated child care facilities, long-term care facilities, places of worship and cemeteries), recreation, parks and open space, and other uses to meet long-term needs.

2.3 Settlement Areas and Settlement Area Boundary Expansions

2.3.1 General Policies for Settlement Areas

1. *Settlement Areas* shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, *strategic growth areas*, including, *major transit station areas*.
2. *Land use patterns within settlement areas* should be based on *densities* and a mix of *land uses* which:
 - a) efficiently use land and resources;
 - b) optimize existing and planned *infrastructure* and *public service facilities*;
 - c) support *active transportation*;
3. Planning authorities shall support general *intensification* and *redevelopment* to support the achievement of *complete communities*, including by planning for a range and mix of *housing options* and prioritizing planning and investment in the necessary *infrastructure* and *public service facilities*.

2.4 Strategic Growth Areas

2.4.1 General Policies for Strategic Growth Areas

1. Planning authorities are encouraged to identify and focus growth and development in *strategic growth areas*.
2. To support the achievement of *complete communities*, a range and mix of *housing options*, *intensification* and more mixed-use development, *strategic growth areas* should be planned:
 - a) to accommodate significant population and employment growth;
 - b) to focal areas for education, commercial, recreational, and cultural uses;
3. Planning authorities should:
 - c) permit development and intensification in strategic growth areas to support the achievement of complete communities and a compact built form;

2.8 Employment

2.8.1 Supporting a Modern Economy

1. Planning authorities shall promote economic development and competitiveness by:
 - a) providing for an appropriate mix and range of employment, institutional, and broader mixed uses to meet long-term needs;
 - b) providing opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a wide range of economic activities and ancillary uses, and take into account the needs of existing and future businesses;
- d) encouraging intensification of employment uses and compatible, compact, mixed-use development to support the achievement of complete communities;

3.6 Sewage, Water and Stormwater

2. *Municipal sewage services* and *municipal water services* are the preferred form of servicing for *settlement areas* to support protection of the environment and minimize potential risks to human health and safety.
8. Planning for stormwater management shall:
 - b) minimize, or, where possible, prevent or reduce increases in stormwater volumes and contaminant loads;
 - c) minimize erosion and changes in water balance including through the use of *green infrastructure*;
 - d) mitigate risks to human health, safety, property and the environment;
 - e) maximize the extent and function of vegetative and pervious surfaces;

3.9 Public Spaces, Recreation, Parks, Trails and Open Space

1. Healthy, active, and inclusive communities should be promoted by:
 - b) planning and providing for the needs of persons of all ages and abilities in the distribution of a full range of publicly-accessible built and natural settings for recreation, including facilities, parklands, public spaces, open space areas, trails and linkages, and, where practical, water-based resources;

4.2 Water

2. *Development* and *site alteration* shall be restricted in or near *sensitive surface water features* and *sensitive ground water features* such that these features and their related *hydrologic functions* will be protected, improved or restored, which may require mitigative measures and/or alternative development approaches.

5.2 Natural Hazards

2. Development shall generally be directed to areas outside of:
 - b) *hazardous lands* adjacent to *river, stream and small inland lake systems* which are impacted by *flooding hazards* and/or *erosion hazards*.

COMMENT:

The PPS defines a complete community “means places such as mixed-use neighbourhoods or other areas within cities, towns, and *settlement areas* that offer and support opportunities for equitable access to many necessities for daily living for people of all ages and abilities, including an appropriate mix of jobs, a full range of housing, transportation options, *public service facilities*, local stores and services. *Complete communities* are inclusive and may take different shapes and forms appropriate to their contexts to meet the diverse needs of their populations.”

The proposal considers the reuse of an existing commercial building adjacent to existing residential and open space areas (Lions Trail, Steelworkers Park and the Gananoque River) and supports local employment.

A Stormwater Management Plan was provided as part of the submission and will be reviewed with the Official Plan Review.

OFFICIAL PLAN:

“The Town of Gananoque Official Plan is an essential planning document which is designed to manage future growth, development and change in the Town. The Official Plan provides a framework which will guide land use decisions within the Town’s boundaries.” The Official Plan was adopted by By-law 2009-39 on September 15, 2009. The Town is currently underway with a draft Official Plan.

The request of the Official Plan Amendment Application is to redesignate the lands from Residential to General Commercial designation with a special exception to permit the commercial sports and recreation establishment.

Section 3.2 introduces the residential designation as, “Gananoque’s residential neighborhoods range from heritage homes in the Lowertown district, to apartment dwellings in multi storey buildings, to single dwelling subdivisions, to mixed use buildings with local commercial, schools and residential uses.”

3.2.1 Residential - Goals and Objectives

The goal of the Residential Designation is to “Promote a balanced supply of housing to meet the present and future social and economic needs of all segments of the community while providing opportunities to develop new residential uses in mixed use buildings as well as non-residential neighbourhood components such as schools, community facilities, places of worship, parks and local commercial uses.”

3.2.2.3 Non-Residential Uses

Local commercial uses such as small local retail plazas and convenience stores, schools, places of worship and community facilities are permitted in the Residential Policy Area. Proposed non-residential uses shall be reviewed to ensure compatibility with the existing residential neighbourhood. Proponents shall provide sufficient evidence

to ensure that new development will not result in increased neighbourhood traffic, noise or other emissions and will contribute to the quality of life for local residents. In all cases the scale and architectural design of any new development shall be consistent with the local neighbourhood.

3.2.2.4 Compatibility

Ensure that all new development, including infill residential development in existing neighbourhoods, maintains and enhances the surrounding area and is compatible with respect to built form, scale, urban design, intensity of use and streetscape.

3.3 Where we do Business – Planning our Commercial Lands

Provide a supportive land use policy framework which reduced constraints for commercial development while ensuring that existing and future commercial uses will contribute to the Gananoque's small town character.

Objectives within the commercial designation include:

- diverse range of commercial uses for existing and future needs
- range of formats
- enhance form and character creating a distinct community
- encourage maintenance and improvement of existing commercial

4.0 Making it Work – Our Infrastructures

Section 4.0 provides that any infrastructure related to the construction and maintenance shall be taken into consideration when reviewing applications.

Section 4.1.4.1 identifies that stormwater management is required for all new development.

5.3.2 Existing Land Uses and Non-Conforming Uses

Existing uses which do not conform to the relevant provisions contained in this Plan shall be deemed non-conforming uses. The long-term objective of this Plan is to relocate, eliminate, or replace these non-conforming uses with uses which are permitted in the relevant land use designation.

The policy provides that when a non-conforming use ceases, the lot may be rezoned in accordance with the policies and intent of this Plan, or to permit a similar use provided that the Council is satisfied that the use is similar to the discontinued use provided the change does not aggravate, increase or enlarge the legal-nonconforming use, constitute a danger, does not pollute air, water or soil or interfere with orderly development.

Section 5.3.2.1 provides for policies on the Extension or Enlargement under Section 34(10) and is summarized as applicable to the application:

1. The extension or enlargement should not aggravate the non-conforming situation for neighbouring uses.
2. The extension or enlargement should be in a reasonable proportion to the existing use and to the land on which it is to be located.
3. Any extension or enlargement involving land should be minor in relation to the total property. Any major change or adjustment shall require an amendment to this Plan.

4. The proposed extension or enlargement shall not create undue noise, vibration, fumes, smoke, dust, odours, traffic generation nor glare from lights.
5. Adequate buffering, setbacks and other measures necessary to reduce or mitigate any impact shall be required and where possible shall be extended to the existing use.
6. Traffic and parking conditions in the vicinity will not be adversely affected by the application and traffic hazards will be kept to a minimum by appropriate design of ingress and egress points to and from the site and by improvement of site conditions especially in proximity to intersections.
7. Adequate provisions have been or will be made for off-street parking and loading facilities.
8. Municipal services such as storm drainage, roads, sewer and water are adequate or can be made adequate.
9. Neighbouring land owners will be notified of the proposed extension or enlargement of the non-conforming use before the final decision on the application is made.

5.4.4 Development Criteria

Councils shall consider development criteria when reviewing the compatibility and appropriateness of any new development or redevelopment, when considering amendments to the Zoning By-law (Development Permit By-law).

5.4.10.6 Discretionary Uses

The Official Plan identifies that the Development Permit By-law may provide that a development permit may be issued to permit, as a discretionary use, an extension to a legal nonconforming use or change in use of a legal non-conforming use, provided that the proposal is desirable in order to avoid hardship, that it would have no negative impact on adjoining properties, and that it would maintain the intent, objectives, principles and policies of this Plan.

5.9.5 Brownfield Redevelopment

Brownfield sites are undeveloped or previously developed properties that may be contaminated. They are usually, but not exclusively, former industrial or commercial properties that may be underutilized, derelict or vacant.

6.0 Amendments to this Official Plan

Section 6.1 identifies that amendments to the Official Plan shall be considered in conjunction with other policies within the Plan. Proposed amendments shall consider the following:

1. the impact of the proposed change on the achievement of the stated goals, objectives and policies expressed in this Plan;
2. the need for the proposed change;
3. the effect of the proposed change on the need for public services and facilities.

In addition when considering amendments which affect the use of a specific site or sites, Council shall consider:

1. whether there is a need to add the site or sites to the lands already designated for the proposed use;
2. the physical suitability of the land for the proposed use.



View of the south side of the building

COMMENT:

Section 6.1 provides how the Town should consider amendments citing the impact, need and effect of the proposed change. Staff are required to review and provide opinions based on submissions against the policies that are adopted. Land use planning is about the land not the people applying for the change or current ownership but beyond. Any change or redesignation remains with the lands not with ownership.

In keeping with the policies under 6.0 for amendments to the Official Plan, the rationale provides for policies within the General Commercial designation, however, it does not appear to provide for the impact to the surrounding neighbourhood of the residential designation to general commercial. The planning rationale provided that the new use “is not anticipated to result in negative impacts to the surrounding residential neighbourhood”.

Staff appreciate that this specific property given the size, the existing building and flexibility for an addition, provides for an ideal building for the proposed use. However, in order to consider the use within a site specific designation, the applicant shall provide sufficient evidence to ensure that new development will not result in increased neighbourhood traffic, noise or other emissions and will contribute to the quality of life for local residents. Specific to this property would include the evaluation of traffic, illumination of the building, noise etc.

Consideration should be given to account for the increased traffic given the current use is primarily on weekends on holidays. The property is likely to see increased activity in traffic on a daily basis during business hours (Daily 5am to 9:30pm) although likely more sporadic over the course of the day. It is proposed that users have access with fobs which only work during business hours. The submissions provides that there is “*No adverse impacts to the surrounding road network or adjacent land uses are anticipated as a result of the proposed development*”. This could be confirmed through a traffic brief.

The change to General Commercial may be appropriate to accommodate the proposed use, however, the designation itself must be considered on whether it is appropriate for the lands and surrounding area. The redesignation of General Commercial could lend itself to extend to broader uses in future.

Staff are of the opinion that the proposed change to General Commercial does not represent sound land use planning, as the intent of the designation provides for

significantly greater flexibility in terms of its uses and it is not a natural extension of the commercial area given the surrounding residential neighbourhood and open space.

Staff do not recommend approval of the lands to be designated General Commercial under Section 3.3. Although the request is site specific, this can broaden future proposed changes of a general commercial nature for the following reasons:

- The General Commercial designation is along an arterial road being King Street East from Park Street west to James Street.
- The location of the lands is not a natural extension or in close proximity to the General Commercial designation on Schedule C; being one of the Town's two commercial policy areas.
- The intent of the General Commercial designation includes uses such as retail stores, restaurants, financial institutions which are not considered appropriate in this area.
- Staff would interpret a site specific designation to be used on parcels of land that have additional policies due to conditions, landscape, design.
- The lands are within a residential designation surrounded by residential dwellings and open space which is not appropriate. The designation could potentially provide a broader range of commercial activities in the future.
- The current residential designation is to preserve and consolidate existing residential neighbourhoods and provide new residential, particularly in a residential area, where people reside as it is the primary goal of the designation.

To provide guidance on potential amendment options, Staff suggested that the applicant explore other relevant sections of the Official Plan, such as policies related to "local commercial" uses and/or the expansion of a legal non-conforming use. These areas might offer some justification for considering a site-specific residential designation. A supporting Planning Rationale would still be required to demonstrate how the proposed use could be justified under these policies—particularly with respect to neighbourhood compatibility (e.g., design and elevations consistent with surrounding properties, traffic impacts, and landscaping). However, the Planning Rationale submitted by the applicant concluded that the proposed use does not align with the types of "local commercial" uses permitted within the Residential designation. As a result, the applicant proceeded with a request to redesignate the property to General Commercial.

The site is municipally serviced and there is no further changes anticipated in this regard. It has been identified that a backflow prevention survey is required for the change of use.

A Stormwater Management Report has been submitted which has been peer reviewed by Jewell Engineering and the CRCA for stormwater quantity. A number of items have been highlighted from both agencies that require further review and clarification. The stormwater management reviews how runoff occurs on the site and is intended to minimize flooding and pollution. Given the property has a large amount of gravel on-site there needs to be consideration for how the development will impact adjacent areas.

The Cataraqui Conservation Authority provided comments with regards to natural hazards under O.Reg 41/24. The CRCA does not object to the application, however, there are items that need to be addressed including relocation of the proposed French

Drain. Final drawings and permits will be required from the CRCA with regards to natural hazard policies.



Location of proposed French Drain



Development Criteria as set out in the Official Plan for new or redevelopment will be reviewed under the Development Permit review.

DEVELOPMENT PERMIT:

The subject property is currently designated Residential in the Development Permit By-law which does not permit a commercial sports and recreation facility as proposed. Therefore, consideration of an amendment to the Development Permit By-law is required. The applicant is seeking to redesignate the land from the Residential to a site specific Progressive Commercial use.



Areas of Proposed Additions



3.14 Existing Lots

Existing lots that do not meet the minimum setback requirements for additions shall be permitted provided the proposal complies with other provisions of the by-law.

3.15 Exterior Design

All designations within the Development Permit By-law are subject to exterior design.

3.23 Illumination

Illumination of buildings and grounds shall be permitted provided it shall not (applicable section):

- cause direct or indirect glare on a street that may interfere with traffic/pedestrian safety.

- Illumination shall not cause direct or indirect glare on adjacent properties.

3.24 Landscaped Open Space

In any Residential, Commercial, or Employment designation any portion of any front yard which is not used for any other permitted use shall be exclusively devoted to landscaped open space.

Where landscaping is required as a buffer, such landscaping shall be continuous except for lanes, driveways, aisles or walkways which provide access to the lot.

3.28 Non-Conforming and Non-Complying Uses Continuance of Existing Uses

Nothing in this By-Law shall apply to prevent the use of any land, building or structure for any purpose prohibited by the By-Law if such land, building or structure was lawfully used for such purpose on the day of the passing of the By-Law so long as it continues to be used for that purpose.

3.31 Outside Storage, Sales and Display

No person shall use any lot or part thereof for outside storage, sales or display except as permitted by this By-law and as an area which has been specifically designed and set aside for such purpose, is fully integrated with the main use of the lot.

3.32 Parking and Storage of Vehicles

Type of Use	Minimum Number of Required Parking Spaces
All other uses not listed above	1 space per 30 m ² (322.9 ft ²) of gross floor area
Barrier Free	1 space per 20 standard parking spaces

3.36 Prohibited Uses

All uses specifically not identified within each designation are not permitted unless a Class III Development Permit is approved.

3.48 Variations

Variations to the By-law may be permitted subject to a formal application to the Town of Gananoque.

COMMENT:

A concurrent application has been applied to redesignate the property from Residential to a site specific Progressive Commercial Use (PC-XX) permitting a commercial sports and recreation facility.

The current use of the building is a flea market which primarily operates on weekends and holidays. The use predates the Development Permit By-law and according to Section 3.28 Continuation of Existing Uses would enjoy a legal non-conforming status. Should a change be approved, the existing flea market use will cease for the proposed commercial sports and recreation facility.

Staff have reviewed the criteria for amendments to the Development Permit By-law (Zoning) as set out in the Official Plan Section 5.4.4. The policy requires that when considering an amendment one shall review the compatibility and appropriateness of

new development or redevelopment. Given that the request is for a redesignation from Residential to General Commercial designation the following has been considered:

- Ingress and egress directly to and from every parking space and the entrances are a minimum of 6.0m for two-way traffic.
Public Works has requested a paved apron at the entrances of 1.5m to minimize service calls for sweep/cleaning of gravel from asphalt roadways, given the property is to remain gravel.
- Parking requirement is 21 and barrier free requirement is 1. The applicant is providing a total of 21 parking spaces along the southern interior lot line including two barrier free parking spaces located at the rear of the proposed building as per the by-law.
A concrete sidewalk will be required along the north-east side of the building to accommodate access from both accessible spaces as well as tactile in the areas of the depressed curb. Note: Applicant may reduce parking width to 2.7m in width as opposed to 3.0m which can provide additional green space throughout the site.
- No new municipal services will be required as the property is municipally serviced.
Applicant to provide own garbage and recycling program. Any garbage/recycling bins shall be enclosed with fencing or shrubbery.
- Grading and drainage plan as well as stormwater management plan has been provided and peer reviewed.
Applicant to provide final grading plan and servicing plan, relocate French Drain as per reviews by Jewell Engineering on behalf of the Town and the CRCA.
- The landscaping plan includes a 3m buffer adjacent the residential dwelling (south) and includes additional landscaping along River Street.
It is recommended that the area be landscaped (not mulched) in the area of the trees along the north side and the lands abutting the Gananoque River. Two trees are showing within the parking lot and should be relocated to the landscaped area. No outside storage shall be permitted on-site.
- Six maple trees are proposed along the west and north side of the property with a size of 50mm.
Public Works are seeking a 70mm caliper and identification of type of maple tree.
- Adequate lighting on the sight and illumination shall not cause direct or indirect glare interfering with pedestrians or adjacent properties. Planning rationale provides that adequate lighting will be provided on the building and parking area.
Lighting on the building will be included in any building permits. Applicant shall provide lighting plan for the parking area.
- Protection of environmental and natural features.
All additions are located and setback from the Gananoque River and there are no impacts expected.
Stormwater plan was peer reviewed by both Jewell Engineering and the CRCA with a number of areas seeking clarification and changes to the proposed French Drain.

Similarly, to the recommendation of the Official Plan redesignation, Staff do not recommend a Development Permit designation of General Commercial special exception. The designation is not a natural extension or in close proximity to the Commercial Traditional Core. Redesignating the lands implies that the subject property or nearby parcels could potentially pursue a commercial designation in the future. If the

Town was looking at this area of designation it should be considered holistically and not individual parcels.

Staff would further recommend that if approvals were issued in either of the Official Plan or the Development Permit By-law for the use that the subject property:

- Heavy landscaping. This could be accommodated by have the minimum requirement for parking (reducing the size from 3.0m to 2.7) and the remaining lands not utilized be landscaped. for parking). This can also assist with the Stormwater Management concerns.
- The proposed additions should consider not only the original structure but that of the neighbourhood (which is identified in the commercial traditional designation that any development should contribute to “fitting in” with the existing character of the area).
- The use in a site specific designation should be strictly controlled to ensure that its use does not expand beyond its intended purpose to preserve the residential character of the neighbourhood.

CIRCULATION TO AGENCIES

Circulation to all property owners within 120m of the site and the prescribed agencies (comments received to date):

CAO	
Chief Building Official	
CRCA	Work permit under Regulation 41/24 is required for site works within 15m of the floodplain and erosion hazard including the area of the French Drain. Comments are attached.
School Boards: CDSBEO and UCDSB Health Unit: South East	UCDSB – No comments
Utilities: Bell Canada/Canada Post/ Cogeco/Enbridge Gas/ Eastern Ontario Power/Hydro One (OPG)/MTO	
EMS: Fire/LG Paramedic/Police	
Public Works, Water/Sewer Utilities	Comments from Public Works are attached and have been incorporated into the report
Neighbourhood: Posting and 120m Circulation	Comments in support of the application were received from Lindsay Keefe, River Street Petra Mindoff, Steel Street Sharon Nelson, River Street Joanne Carswell, Gananoque Canoe Club

Official Plan:

Staff recommend to Planning Advisory Committee that Official Plan Amendment OPA8-2025 to redesignate the lands from Residential to General Commercial special exception to permit a commercial sports and recreation facility not be approved and the lands remain Residential as set out in the Planning Report.

Development Permit:

O.Reg. 173/16 Clause 10. (9) provides that when Council is considering a decision, the Council may:

- (a) refuse the application;
- (b) approve the application and issue a community planning permit with no conditions attached;
- (c) approve the application and require that conditions be met before issuing a community planning permit;
- (d) approve the application and issue a community planning permit with conditions attached; or
- (e) approve the application, require that conditions be met before issuing a community planning permit and, when the conditions have been met, issue a community planning permit with conditions attached. O. Reg. 173/16, s. 10 (9).

Staff recommend to Planning Advisory Committee that Development Permit DP2025-13 be deferred until such time as an Official Plan Amendment has been approved.

And should the applicant obtain approvals for an Official Plan Amendment the following conditions would apply based on a designation of Residential exception:

- All final plans be submitted and approved to the satisfaction of the Town and CRCA;
- The owner satisfy all requirements with regards to stormwater management to the satisfaction of the Town and the CRCA;
- A Traffic Brief be provided and Stormwater Management Report be updated to reflect amendments.
- All costs associated with fulfilling the conditions of this decision are borne by the owner, and;
- The owner enters into an agreement with the town within one (1) year of approval,

APPROVAL	
	Brenda Guy, Manager of Planning and Development

October 22, 2025

File: DP/GAN/223/2025

Sent by e-mail

Brenda Guy
Manager of Planning and Development
Town of Gananoque
bguy@gananoque.ca

Dear Ms. Guy:

**Re: Application for Official Plan Amendment OPA8-25
Application for Development Permit DP2025-14
145 River Street, Town of Gananoque
Gananoque River**

Cataraqui Conservation staff have reviewed the above-noted applications and supporting materials. The proposal involves an amendment to the Official Plan designation for the subject property, from Residential to site-specific General Commercial and a development permit to change the use of the site to Progressive Commercial within the Town's Development Permit By-law and to permit the proposed redevelopment of the property. The development consists of a proposed expansion to an existing building to be used as a sports and recreation facility and associated site alterations.

We offer the following comments for the consideration of the Town of Gananoque and applicant. These comments are provided based on Cataraqui Conservation's roles as a commenting agency responsible for natural hazards review for *Planning Act* applications and as administrator of Ontario Regulation 41/24: *Prohibited Activities, Exemptions and Permits*.

Discussion

Our main interests in these applications are the avoidance of natural hazards (flooding and erosion) associated with the Gananoque River through development setbacks and adequate stormwater management controls.

Natural Hazards

Cataraqui Conservation, through our implementation of Ontario Regulation 41/24 and, in accordance with the natural hazards policies of the 2024 Provincial Planning Statement (PPS), directs development away from lands subject to natural hazards, such as flooding and erosion.

Flooding

The subject property is on the Gananoque River. CRCA has engineered flood plain mapping for the river in this location. The 1:100 year flood elevation of the river at the east of

the subject property is expected to reach 83.3 metres geodetic. Due to a relatively high shoreline embankment, the flood level does not extend beyond the top of bank along the shoreline.

CRCA regulatory policies, consistent with the PPS and Town's Official Plan, do not permit development within the 1:100 year flood plain.

The existing building and proposed additions will occur fully outside the flood plain and will meet minimum setback requirements to ensure safe access.

A portion of the proposed "French Drain" and associated site grading shown at the east end of the property on the Site Plan and Grading Plan appear to encroach below the 83.3 m flood level.

1. Encroachment of material and grading is not permitted within/below the 83.3 m flood plain. The proposed "French Drain" will need to be revised so that it is entirely outside this elevation and no changes are made in the flood plain. **Please revise the drawings to demonstrate this.**

Erosion

CRCA defines the extent of the long-term erosion hazard limit for rivers, creeks and streams as the sum of an allowance for toe erosion, a stable slope allowance of 3(h):1(v) for till embankments and 1:1 for bedrock and an access allowance of 6 metres.

Development and site alteration is not permitted in the toe erosion and stable slope allowance along the Gananoque River and buildings and structures must meet the above-noted 6 metre access allowance.

Based on available information, the shoreline embankment at this location consists of an approximately 2 metre high till slope. Using a conservative 4 metre toe erosion allowance plus a 3:1 stable slope allowance. The extent of the combined toe erosion and stable slope allowances is 10 metres measured inland from the toe.

The existing building and additions are well outside this area and the 6 m additional access allowance. It's unclear from the Site Plan and Grading Plan if the French Drain area will be 10 m or greater from the toe of slope.

2. **Please confirm the distance from the French Drain area to the toe of the shoreline slope.** This feature and associated placement of material and grading will need to be at least 10 metres from the toe.

For long-term protection of existing and proposed development at this property and to protect the natural function of the river, it is recommended that the landowner maintain native vegetation and soil along the river embankment.

3. **Please confirm if existing trees and vegetation along the shoreline slope will be retained and what, if any, removals will occur.**

Stormwater Management

Proper on-site stormwater management is necessary for additional development at this property in order to protect downstream lands and waterbodies (e.g. Gananoque River) from impacts such as flooding and erosion. CRCA policies, aligned with provincial stormwater guidelines, require that runoff be controlled so that post-development flows are equal to pre-development flows for the 2 through 100 year storm events. Our policies also recommend use of a “treatment train” approach combining both conventional and alternative (i.e. Low Impact Development) stormwater techniques to ensure effective and resilient stormwater management.

CRCA staff have reviewed the Stormwater Management Report (Eastern Engineering, March 2025) and engineering drawings for the proposed development from a natural hazards (stormwater quantity) perspective. We have not reviewed stormwater quality. We provide the following comments on the report.

4. As is standard, Cataraqui Conservation requests that drainage area maps be provided in the SWM Report for both predevelopment and post development conditions. **Please revise.**
5. Cataraqui Conservation guidelines require quantity control be provided for the minor through regulatory return periods (2 year through 100 year), it hasn't been demonstrated that control will be achieved up to the 100-year predevelopment allowable release rate. **Please revise.**
6. On-site stormwater storage should be provided for the 5 through the 100-year events, it is not clear if this is the case. **Please address.**
7. Please indicate on the plans and in the report where surface storage will occur. **Please revise.**
8. In response to comment 1, above, if the storage capacity/function of the French Drain is reduced due to revisions to get it outside the flood plain, the designer will need to modify this area so that necessary capacity is still provided. **Please address.**
9. Calculations should be provided within the report to prove the underground infiltration trench and surface storage will provide sufficient storage for up to the 100-year event. **Please revise.**
10. **Please illustrate the location and type of erosion and sediment controls in the drawings.**
11. **Please indicate the location of snow storage for the site on the drawings.**

Recommendation

CRCA has no objections to the approval of Official Plan amendment application OPA8-2025 based on our review of natural hazards policies.

We recommend that the above noted comments (1-11) be fully addressed to the satisfaction of the Town and CRCA prior to approval of Development Permit application DP2025-13.

Ontario Regulation 41/24

A permit for site work within 15 metres of the flood plain and erosion hazard on the subject property will be required from CRCA. This would include the proposed French Drain area and associated site work. The applicant can contact the undersigned for further information regarding the permit process.

If you have any questions, please contact the undersigned at (613) 546-4228 ext. 228, or by e-mail at mdakin@crca.ca.

Please inform this office of any decision made by the Town regarding this application.

Yours truly,

A handwritten signature in black ink, appearing to read 'MDakin', is written over a light blue circular stamp.

Michael Dakin MCIP, RPP
Supervisor, Development Review

cc: Applicant, via email
Eastern Engineering, Engineering Consultant, via email



Gananoque Canoe Club

PO Box 519
Gananoque, ON K7G 2V1

To Whom It May Concern,

I hope this letter finds you well. I am reaching out on behalf of Gananoque Canoe Club an established Canoe and Kayak Sprint Club dedicated to fostering athletic development, community engagement and the growth of young athletes. We are excited to explore the possibilities of a mutually beneficial partnership with Gan fitness if they could purchase the property at 145 River Street Gananoque. The Gan Fitness facility would be located conveniently across from our club.

As a sport that demands both endurance and strength, our athletes rely heavily on conditioning and training. Having a fitness facility like Gan Fitness nearby would be invaluable and provide us the opportunity to extend our athletes training program. Gananoque Canoe Club is extremely proud of our competitive athletes who compete at the Provincial and National level.

We believe that by partnering we can offer extended training to our athletes when outdoor conditions are less favorable for water-based practice:

- Off-season fitness programs tailored to canoeing and kayaking, focusing on strength, endurance and injury prevention.
- Access to training space and indoor fitness space for team building events.
- Building a variety of programs accessible to our membership and growing youth recreation in the community.

As a community member I feel that the facility would foster a second home environment similar to our Gananoque Canoe Club family. I believe now more than ever community recreation is imperative in the future of our youth.

Sincerely,

Joanne Carswell
Commodore
Gananoque Canoe Club
Gananoquecanoecub@gmail.com

From: [Lindsay Keefe](#)
To: [Trudy Gravel](#)
Cc: ganfitness@outlook.com
Subject: Community Support for Gan Fitness Proposal
Date: October 6, 2025 9:17:51 PM

You don't often get email from lindsaymkeefe@gmail.com. [Learn why this is important](#)

Dear Town Council,

I hope this message finds you well.

My husband and I were thrilled to learn that Bethanie Matthews and Gan Fitness have purchased the former Flea Market building. In a time when many individuals face challenges related to mental and physical health, the prospect of a community-focused fitness center—centrally located and easily accessible—offers tremendous value to Gananoque.

The proposed additions of a gymnasium and recreational rentals, alongside the fitness facilities, would further enrich our town. I can already envision friends, family, and visitors to our local bed and breakfasts enjoying paddle boards and kayaks on the Gananoque River throughout the spring, summer, and fall. These offerings would highlight the natural beauty of our area and encourage active lifestyles.

As a River Street resident, I would absolutely purchase a gym membership. I'm especially excited about the opportunity to play basketball and volleyball again—activities I've missed due to the limitations of the current gym's location and size. Being able to walk to a well-equipped facility would make my fitness goals more attainable and foster connections with other like-minded residents.

With Gananoque continuing to grow and new homes being built, it seems both timely and logical to invest in infrastructure that supports wellness, recreation, and community engagement. The gymnasium, in particular, holds great promise for youth programming and after-school activities, offering a safe and healthy space within walking or biking distance.

While I understand that change can be met with hesitation, I believe it is essential to support local entrepreneurs—especially women-led initiatives—that aim to strengthen and uplift our community. Gan Fitness's proposal reflects a thoughtful vision for Gananoque's future, one that prioritizes health, connection, and inclusivity.

Thank you for considering this important opportunity to enhance our town.

Warm regards,

Lindsay Keefe
River Street Resident & UCDSB Teacher

From: [Gan Fitness](#)
To: [Trudy Gravel](#)
Subject: Fwd: Support Letter for Gan Fitness
Date: October 6, 2025 10:57:32 AM

----- Forwarded message -----

From: Petra Mindorff [REDACTED]
Date: Aug 5, 2025 5:01 PM
Subject:
To: ganfitness@outlook.com
Cc:

To the Town of Gananoque Planning Advisory Committee and the Gananoque Town Council

We are writing in strong support of the proposed gym relocation at the former flea market building on River Street in Gananoque.

As the landlord of 295 River Street property that we use and rent to long term residents, we believe this project presents a meaningful opportunity to revitalize the space and bring lasting benefits to the neighborhood. A gym in this location would provide convenient and inclusive access to health and wellness services for residents of all ages, while contributing to the development of a vibrant community hub in the area.

The team behind this proposal already operates a successful gym here in Gananoque. They've built a strong membership base, established a welcoming culture, and proven there is significant local demand for this kind of space. Their current operation provides ample proof of concept—this isn't a speculative venture, but a well-tested and needed expansion. A permanent, purpose-fit location on River Street would allow them to grow their offerings and better serve the community in a central and convenient location.

Gananoque is home to people of all ages—from youth and young families to working professionals and retirees—and a well-run gym with flexible, accessible programming has the potential to support wellness for everyone. From strength and conditioning for young adults, to mobility and wellness classes for seniors, this facility can play a key role in supporting physical and mental health town-wide.

In addition to their proven business success, the gym owners are active, dedicated participants in Gananoque's community life. They regularly volunteer their time for local events and initiatives, and their desire to open this gym comes from a place of deep care and connection to the town. Their vision is to build more than just a gym—they want to create a welcoming community space that could host workshops, after-school programs, fitness and wellness events, and more.

We respectfully urge the Town to support this proposal. We're confident that it will

be a long-term asset to the community and a positive, health-focused use of the River Street property.

Sincerely,
Petra Mindorff and Eric Lepp

[REDACTED]

Primary Residence: [REDACTED] Steel Street Gananoque

Landlord: [REDACTED] River Street Gananoque

From: [Sam Samson](#)
To: [Trudy Gravel](#)
Subject: Support Letter for Gan Fitness to relocate to 145 River Street, Gananoque
Date: October 6, 2025 4:24:08 PM

[You don't often get email from sam11samson@yahoo.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Below is copy of my Support Letter for Gan Fitness to relocate to 145 River Street.

August 16, 2025

Town of Gananoque:

Planning Advisory Committee
and
Gananoque Town Council

30 King Street East
Gananoque, Ontario
K7G 2T6

Dear Advisory Board and Town Council.

This letter is a support letter for Gan Fitness to be able to relocate their excellent community business to 145 River Street, here in Gananoque.

The new potential location will benefit the community even more than this wonderful business already does.

This new location would increase the walkability for people using GanFitness and hopefully increase the number of community members being able to avail themselves of this multi generational, super supportive, caring business which increases the health of town citizens.

The new location would mean the gym and classes would all be on the ground floor.

The location has always had a baseline small amount of vehicles coming in and out of the parking area..so this use would not change the way things work on River Street.


I feel this would be the best possible use of the property.

As you can tell, by my words..I'm all for the relocation.

Gan Fitness has had a life changing effect on me. I'm a Senior and over my life time..I have joined many Gyms..then never followed through..until July of 2016 when I had the good fortune to join Gan Fitness!! And I have been an active member ever since!!

Gan Fitness provides the best multigenerational and personal approach, I have ever experienced!

Thank you for your attention to my support letter.

Sharon Sherry Nelson
 River Street
Gananoque, Ontario
K7G 2P9



NOTICE OF PUBLIC MEETING

Proposed Official Plan Amendment and Class III Development Permit

TAKE NOTICE THAT the Town is in receipt of a complete application for a proposed Official Plan Amendment, pursuant to Section 21 and a Development Permit pursuant to Section 70.2 of the Planning Act, R.S.O. 1990.

Planning Advisory Committee for the Town of Gananoque will hold a Meeting on **TUESDAY, OCTOBER 28, 2025 at 6:00 P.M.** in the **TOWN OF GANANOQUE COUNCIL CHAMBERS, 30 King Street East, Gananoque** to provide recommendations to Council on the concurrent applications below.

AND FURTHER TAKE NOTICE that the Council for the Corporation of the Town of Gananoque will hold a Public Meeting on **TUESDAY, NOVEMBER 4, 2025 at 5:00 P.M.** at the **TOWN OF GANANOQUE COUNCIL CHAMBERS, 30 King Street East, Gananoque** to consider the following applications:

*The **TOLL-FREE PHONE NUMBER** and **ACCESS CODE** will be found on the meeting agenda, posted to the Town website at <https://www.gananoque.ca/town-hall/meetings> prior to the meeting.

File No. **OPA8-25/DP2025-13**

OWNER: **AGNES & HARRIE TIEKEN**
APPLICANT: **BETHANIE MATTHEWS**

The property municipally and legally described as

145 RIVER STREET

PLAN 86 PT LOT 476 PT LOT 477 PT LOT 478 PT LOT 479 RP;28R8089 PART 1
TOWN OF GANANOQUE

has applied to the Town of Gananoque for an Official Plan Amendment (File No. OPA8-25) from
**RESIDENTIAL TO A SITE SPECIFIC GENERAL COMMERCIAL DESIGNATION
TO PERMIT A COMMERCIAL SPORTS AND RECREATION FACILITY**

AND

has applied to the Town of Gananoque for a Development Permit (File No. DP2025-13) to
**REDESIGNATE THE PROPERTY FROM THE RESIDENTIAL TO SITE SPECIFIC PROGRESSIVE
COMMERCIAL USE (PC-XX) TO PERMIT A COMMERCIAL SPORTS AND RECREATION FACILITY**

Note: Applications OPA8-25 and DP2025-13 are concurrent. DP2025-13 will be a condition for final approval of Official Plan Amendment application OPA8-25

Additional information in relation to the proposed **Official Plan Amendment** and **Development Permit** is available in-person for inspection between 8:30am - 4:30pm at the Town of Gananoque, 30 King Street East, Gananoque Ontario or on the Town website at <https://www.gananoque.ca/town-hall/meetings>, or by emailing assistantplanner@gananoque.ca or by calling Trudy Gravel 613-382-2149 ext. 1129.

Official Plan

If a person or public body does not make oral submissions at a public meeting or make written submissions to the Town before the proposed Official Plan is adopted, the person or public body is not entitled to appeal the decision of the Town to the Ontario Land Tribunal.

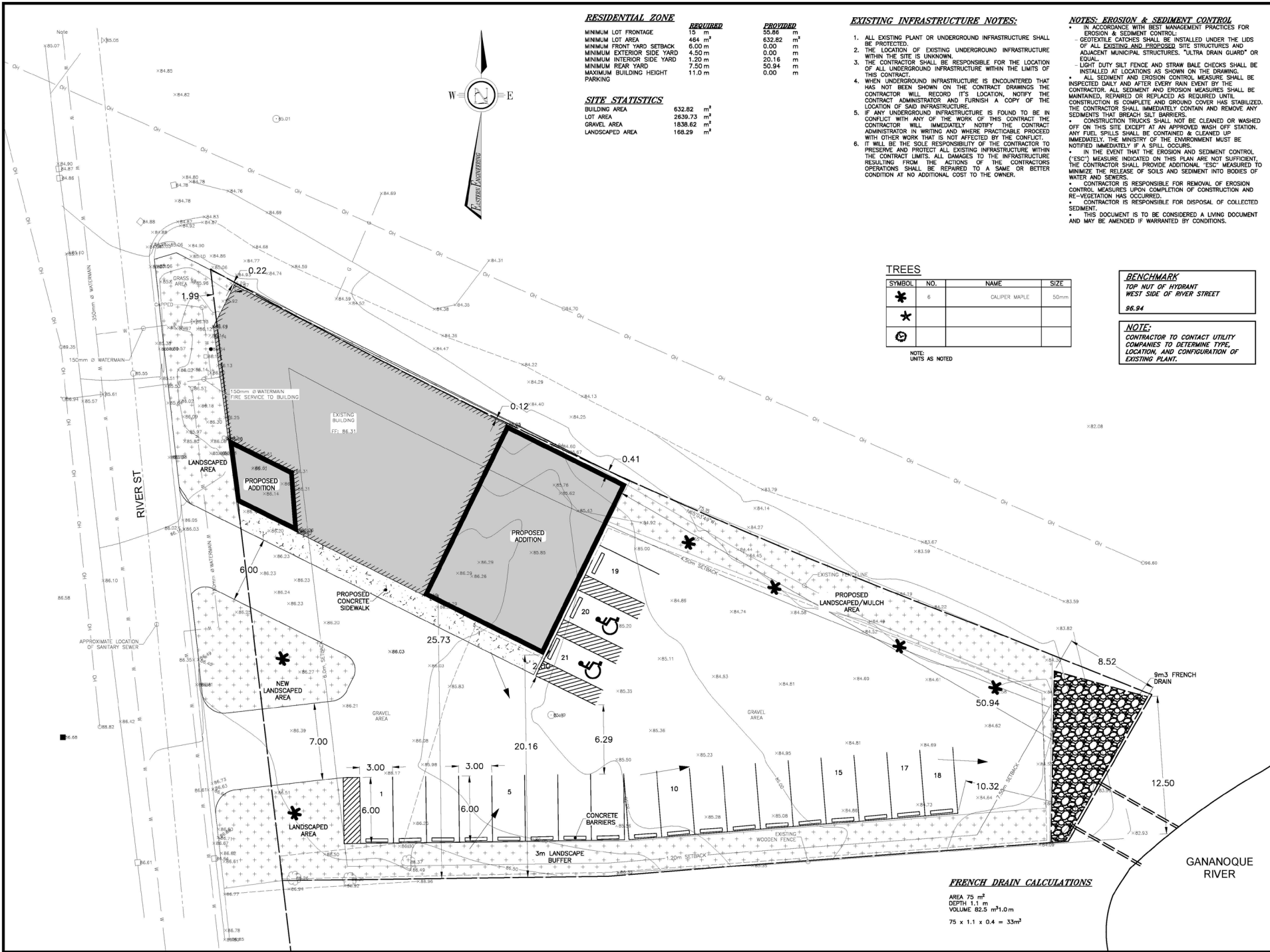
If a person or public body does not make oral submissions at a public meeting or make written submissions to the Town before the proposed Official Plan is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal, unless in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party. If you wish to be notified of the decision of the Corporation of the Town of Gananoque in respect to this proposed **Official Plan Amendment** and related amendments, you must make a written request to the Clerk for the Town of Gananoque, 30 King Street East, Gananoque, Ontario K7G 1E9, or by email to clerk@gananoque.ca.

Development Permit By-law

If you wish to provide comment or input in respect of the proposed **Development Permit** you may do so at the public meeting or in writing prior to the meeting. **Note:** Only the applicant of a **Development Permit** has a right to appeal a decision or non-decision on an application to the Ontario Land Tribunal where the application meets the requirements established through the official plan and development permit by-law.

DATED this 1st day of OCTOBER 2025

Brenda Guy
Manager of Planning and Development
bguy@gananoque.ca
613-382-2149 Ext.1126



LEGEND

- EXISTING TOPO GRADE
- PROPOSED GRADE
- EXISTING GRADE
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- BELL UNDERGROUND
- CAS UNDERGROUND
- CABLE UNDERGROUND
- ELECTRICAL UNDERGROUND
- OVERHEAD UTILITIES
- UTILITY POLE
- UTILITY AND/OR
- UTILITY PEDSTAL
- PROPERTY BAR FENCE
- ROAD SIGN
- FENCE
- TREELINE
- TREE
- PROPERTY BOUNDARY
- EXISTING BUILDING
- EXISTING BUILDING TO BE REMOVED
- PROPOSED BUILDING

2	BAC	2025-07-04	TOWN COMMENTS
1	CJ	2025-04-22	TOWN COMMENTS
0	BC	2025-01-29	SITE PLAN
Rev.	By	Date	Revisions

All drawings, specifications and related documents are the copyright property of the Engineer and must be returned upon request. Reproduction of drawings, specifications, and related documents in part or whole is forbidden without the Engineers written permission.

The contractor must check and verify all dimensions on the job prior to start of construction.

Drawings are not to be scaled.

EASTERN ENGINEERING GROUP INC.
CONSULTING ENGINEERS
Apex Building
207 - 100 Stranwiler Blvd.
Brockville, Ont. K6V 5G9
Telephone: (613) 345-0400
Facsimile: (613) 345-0008
www.easteng.com

GAN FITNESS

SITE PLAN

Design:	BC	Checked:	AP	Approved:	CAJ	Project No.:	0927
Drawn:	BC	Checked:	AP	Date:	2025-1-7	Contract No.:	

Scale: 0 3.0 6.0
Horizontal: 150

C1

**APPLICATION FOR OFFICIAL PLAN AMENDMENT**To amend the Official Plan under Sections 17 of the *Planning Act*

This application form **MUST** be accompanied with **all** the submission requirements in order to be considered a complete application. **Incomplete applications will not be processed until all information is provided.**

- ☐ Complete application form signed including declaration of applicant
- ☐ Copy of the deed of property or offer to purchase and sale
- ☐ Application fee in the amount of \$1,600 (Fifteen Hundred Dollars) payable to the Town of Gananoque
- ☐ Deposit fee in the amount of \$2,000 (Two Thousand Dollars) payable to the Town for any peer reviews of various studies (By-law 2016-047). The owner/applicant is responsible for all peer review fees that the Town incurs in this regard and may be subject to additional invoicing.
- ☐ One scaled copy, one reduced 11 x 17 copy and one digital of the most recent survey of the subject property
- ☐ One scaled copy, one reduced 11 x 17 copy and one digital showing the boundaries and dimensions of the subject land as well as the area of the lands that are subject to the amendment. Plans are to be in a standard scale format (1:250 1:500)
- ☐ Official Plan Amendments may be subject to review and a separate cheque payable to the Cataraqui Region Conservation Authority. The Town of Gananoque recommends that you consult with a Conservation Authority Officer prior to making application

CONTACT INFORMATION

Municipal Freedom of Information and Protection of Privacy Act – Personal Information on this form is collected under authority of The Planning Act and will be used to process this application.

Name of Applicant: Bethanie Matthews	Complete Address including Postal Code: 343 Georgiana St, Gananoque, Ontario, K7G1N1	Phone: 613 929 9927
	E-mail: ganfitness@outlook.com	
Name of Property Owner (if different than applicant): Agnes and Harrie Tieken	Complete Address including Postal Code: 215 Marble Rock Rd. Gananoque ON. K7G 2V9	Phone: 613-328-6653
	E-mail: ticken_ned@kingston.net	
Land Surveyor:	Complete Address including Postal Code:	Phone:
	E-mail:	

PROPERTY INFORMATION

Street or Property Address (if applicable): 145 River Street, Gananoque, On,	Roll Number (if known): 081400001036800
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LEGAL DESCRIPTION

Part of Lot 13, Concession 1, Town of Gananoque in the United Counties of Leeds and Grenville

Frontage (m/ft): 55.9m	Depth (m/ft):	Lot Area: 2640 m2
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Current Official Plan Designation:

Residential

Proposed Official Plan Designation:	General Commercial - Special Policy Area X
-------------------------------------	--

Official Plan Policy (Existing):	The proposed amendment: <input checked="" type="checkbox"/> Changes, a policy in the Official Plan <input type="checkbox"/> Replaces, a policy in the Official Plan <input type="checkbox"/> Deletes, a policy in the Official Plan
----------------------------------	--

Description of affected property:

The property is located on the east side of River Street and abuts the Gananoque Waterfront Trail along the northern property line. The site has an area of approximately 2,640 square metres, with approximately 55.9 metres of frontage along River Street, and approximately 14.9 metres of frontage along the Gananoque River. The site is currently developed with a one-storey commercial building located in the northwest corner abutting River Street and the Gananoque Waterfront Trail. The commercial building is previously occupied by a retail use (flea market). The balance of the site is gravelled and the east portion of the site slopes towards the Gananoque River. Vehicular and pedestrian access to the site is provided from River Street.

Official Plan Policy (Addition):

The proposed amendment adds the following policy to the official plan if applicable (add additional sheet if further space is needed):

i) THAT Schedule A of the Official Plan for the Town of Gananoque is hereby amended by redesignating the lands identified on Schedule A, attached hereto and forming part of this Amendment, from Residential to General Commercial.

ii) THAT Section 3.3.2.1.X of the Official Plan is amended to add the following section:

3.3.2.1.X General Commercial Special Policy Area X 145 River Street On the lands designated General Commercial Special Policy Area X, the only permitted use shall be a commercial sports and recreation facility, which is defined as: athletic, recreational, or social club operated for gain or profit or for the private use of members. U

Purpose:

If the proposed amendment changes, replaces, deletes or adds a policy, state the purpose of the proposed official plan amendment:

The purpose of this amendment is to redesignate the subject lands to the General Commercial designation and establish Special Policy Area X to permit a commercial sports and recreation establishment on the subject property and prohibit all other uses permitted in the General Commercial designation.

Effect of Proposed Amendment on Designation:	<input checked="" type="checkbox"/> Changes, a designation of the Land Use Schedule of the Office Plan <input type="checkbox"/> Replaces, a designation of the Land Use Schedule of the Office Plan
--	--

Name the designation proposed: General Commercial - Special Policy Area X -- 145 River Street On the lands designated General Commercial Special Policy Area X, the only permitted use shall be a commercial sports and recreation facility, which is defined as an athletic, recreational, or social club operated for gain or profit or for the private use of members. U

Is the subject property currently the subject of any other application under the Planning Act such as a Development Permit, Consent or Approval of a Plan of Subdivision/Condominium?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If Yes, please provide the file number of each application, and its status (add additional sheet if further space is needed):			
1. Type of Application	development permit		
Application File #	unknown		
Status of Application	concurrent with OPA		
2. Type of Application			
Application File #			
Status of Application			

Text – Proposed Amendment
State the text of the proposed amendment if a policy in the official plan is being changed, replaced or deleted, or if a policy is being added to the official plan (add additional sheet if further space is needed):
attached.
Where the proposed amendment changes or replaces a schedule in the official plan, attach the proposed schedule and the text that accompanies the schedule.

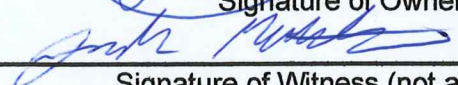
AUTHORIZATION BY OWNER	
I/We, the undersigned being the registered owner(s) of the subject lands, hereby authorize <u>Bethanie Matthews</u> (print name) to be the applicant in the submission of this application.	
Furthermore, I/we, being the registered owner(s) of the subject lands, hereby authorize Town of Gananoque members of Council, Committee of Council and Municipal Staff, to enter upon the property for the purposes of conducting a site inspection with respect to the subject application.	
<u>Aquas Tiekien</u>	
Owner Name (Please Print)	Owner Name (Please Print)
<u>[Signature]</u>	
Signature of Owner	Signature of Owner
<u>[Signature]</u>	<u>Aug 13, 2025</u>
Signature of Witness (not applicant)	Date

CONSENT BY OWNER

I/We, Agnes Tieren, (print name(s) am/are the registered owner(s) of the land that is the subject of this application for Development Purposes and for purposes of the Municipal Freedom of Information and Protection of Privacy Act. I/We hereby authorize the use, or disclosure, to any person or public body, of any personal information collected under the authority of the Planning Act of the purpose of processing this application.


 Signature of Owner

Signature of Owner


 Signature of Witness (not applicant)

Aug 13, 2025
 Date
DECLARATION OF APPLICANT

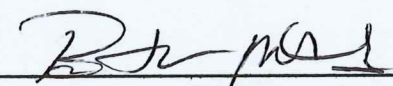
(Print) I, Bethanie Matthews of the Town of Gananoque in the Province of Ontario solemnly declare that:

All of the above statements contained in the application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under Oath and by virtue of *The Canada Evidence Act*.

Declared/Sworn before me at

Town of Gananoquethis 3rd day ofSeptember, 20 25

 Signature of a Commissioner, etc


 Signature of Applicant
Office Use Only:Roll No:
081400001036800Official Plan Designation:
ResidentialDevelopment Permit Designation:
Residential

Other:

Access (Entrance Permits etc):

Water and Sewer Hookup
(Permits etc):

Other:

Other
Concurrent
Applications:Cash-in-Lieu
of ParkingCondominium
ApprovalConsent/
SeveranceDevelopment
Permit ApprovalOfficial Plan
AmendmentSubdivision
Approval

Date Application Received:

September 3, 2025

Date Application Deemed

Complete: September 3, 2023

Fees Received:

\$1600 September 3, 2025

For additional details please contact: Brenda Guy, Manager of Planning and Development
 Town of Gananoque, 30 King Street East, Gananoque, ON K7G 1E9
 (613) 382-2149 ext.1126 E-mail: bguy@gananoque.ca

APPLICATION FOR DEVELOPMENT PERMIT APPROVAL
Section 70.2 of the Planning Act, RSO 1990, as amended

This application form **MUST** be accompanied with **all** the submission requirements in order to be considered a complete application. **Incomplete applications will not be processed until all information is provided.**

A Pre-consultation meeting with Planning and Development staff is **REQUIRED PRIOR TO SUBMISSION** of this application. At that time, approval stream and submission requirements will be determined. **ALL** applications require the following:

ALL applications require the following:

- ☐ Complete application form signed including declaration of applicant*
- ☐ Proof of ownership, deed of property or offer to purchase and sale*
- ☐ Legal survey and/or Building Location Survey for the subject property*
- ☐ If the development is for commercial and/or employment, multi-residential – One (1) large scale paper copy of all plans shall be submitted along with one set of reduced 11" x 17" of all plans and your electronic copy. Plans are to be in a standard scale format (1:250 1:500)
- ☐ Application fee as outlined in the pre-consultation form payable to the Town of Gananoque*
- ☐ Deposit fee as outlined in the pre-consultation form payable to the Town of Gananoque*
- ☐ Fees payable to the Cataraqui Region Conservation Authority, if applicable. Contact the CRCA for more information.

CONTACT INFORMATION

Municipal Freedom of Information and Protection of Privacy Act – Personal Information on this form is collected under authority of The Planning Act and will be used to process this application.

Name of Applicant: Bethanie Matthews	Complete Address including Postal Code: 343 Georgiana St, Gananoque, ON K7G1N1	Phone: 613 929 9927
	E-mail: ganfitness@outlook.com	
Name of Property Owner (if different than applicant): Agnes and Harrie Ticken	Complete Address including Postal Code: 215 Marble Rock Rd Gananoque ON K7G 2V4	Phone: 613 328 6653
	E-mail: ticken-ncd@kingston.net	
Architect/Designer/Planner: Fotenn Planners (Kelsey Jones)	Complete Address including Postal Code: 4 Cataragui St. Suite 315 Kingston, ON K7K 1Z7	Phone: 613 542 5454
	E-mail: jones@fotenn.com	
Engineer: Eastern Engineering	Complete Address including Postal Code: 267-100 Stouffer Blvd. Brockville, ON K6V 5J9	Phone: 613 345 0400
	E-mail: baiello@easteng.com / cjardine@easteng.com	
Land Surveyor:	Complete Address including Postal Code:	Phone:
	E-mail:	

PROPERTY

Street or Property Address (if applicable): 145 River St, Gananoque, Ontario, K7G2P8	Roll Number (if known): 081400001036800
---	--

LEGAL DESCRIPTION

Lot/Con/Plan: Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville			
Frontage (m/ft): 55.9m	Depth (m/ft):	Lot Area: 2640 m2	

SUBMISSION REQUIREMENTS

The applicant/agent is responsible for ensuring that the submission requirements are met, including confirming that all the information listed below is shown on the required plans by checking off each box.

☒ **Site Plan(s)** including scaled accurate measurements of:

- Title, location and date of project including legend and scale (graphic bar scale as well as written ratio scale);
- Dimensions and areas of the site including existing natural and artificial features i.e: buildings, watercourses, wetlands, woodlands.
- Dimensions and gross floor area of all building and structures to be erected;
- Existing structures to be retained, removed or relocated;
- Distances between lot lines and the various buildings, structures, parking areas, driveways and other features;
- Proposed elevation of finished grades including area to be filled or excavated, retaining walls, drainage ditches;
- Parking areas including number, size of spaces and dimensions. The plans shall have regard for **Ontario Regulation 413/12 made under Accessibility for Ontarians with Disabilities Act, 2005**. This shall include, but not be limited to, providing appropriate designated parking spaces and unobstructed building access features.
- Access driveways including curbing and sidewalks
- Proposed fire routes and fire route sign locations
- Dimensions and locations of loading zones, waste receptacles and other storage spaces;
- Location, height and type of lighting fixtures including information on intensity and the direction in which they will shine relative to neighbouring streets and properties;
- Location of sign (sign permit to be applied for through the Building Permit process) as per By-law 2005-41;
- Location, type and size of any other significant features such as fencing, gates and walkways.

☒ **Drainage Plan(s)** including scaled accurate measurements of:

- Drainage Plan must demonstrate proposed development is handled on-site and does not infringe on neighbouring properties;

☒ **Landscape Plan(s)** including scaled accurate measurements of:

- Landscape Plan showing size, type and location of vegetation, areas to be seeded or sod. Plan to show existing landscape features to be retained, removed or relocated;

☒ **Site Servicing Plan(s)** including scaled accurate measurements of:

- Site Servicing Plan (plan/profile) including layout of existing water, sewer, gas lines, proposed connections, utility easements, fire hydrants, hydro poles, lighting, trees, transformers and pedestals.

☒ **Grade Control and Drainage Plan(s)** including scale accurate measurements of:

- Existing elevations on subject and adjacent lands and long centerline or adjacent street lines, which are to be geodetic;
- Location of any creeks, ravines or watercourses with elevations and contours;
- Arrows indicating the proposed direction of flow of all surface water;
- Location and direction of swales, surface water outlets, rip-rap, catch basins, rock, retaining walls, culverts
- Existing and/or proposed right-of-ways or easements

☒ **Elevation and Cross-Section Plan(s)** including scale accurate measurements of:

- Coloured elevation drawings or renderings of each side of the building to include materials being used and their consideration to the neighbourhood (PHOTOS OF EXISTING BUILDING ARE PERMITTED IF NO ADDITIONS ARE BEING UNDERTAKEN)
- Drawings that show plan, elevations and cross section views for each building or structure to be erected;
- Conceptual design of building;
- Relationship to existing buildings, streets and exterior areas to which members of the public have access to;
- Exterior design including character, scale, appearance and design features of the proposed building;
- Design elements of adjacent Town road including trees, shrubs, plantings, street furniture, curbing and facilities designed to have regard for accessibility
- Photographs of the subject land and abutting streetscape on both side of the street

☒ **Supporting Studies and Reports.** Technical reports/plans or studies may be required to assist in the review process of a Development Permit Application. Applications for Development Permit may be required to submit the following studies or reports. Applicants should consult with Municipal staff to determine site specific requirements:

- | | |
|---|---|
| <input type="checkbox"/> Air, Noise or Vibration Study | <input type="checkbox"/> Sanitary System Design & sufficient capacity |
| <input type="checkbox"/> Archaeological Study | <input type="checkbox"/> Servicing Options Report |
| <input checked="" type="checkbox"/> Drainage and/or stormwater management report | <input type="checkbox"/> Source Water Protection – Risk Management Assessment |
| <input type="checkbox"/> Environmental Impact Assessment for a natural heritage feature or area | <input type="checkbox"/> Sun/Shady Study |
| <input type="checkbox"/> Erosion and Sediment Control Plan | <input type="checkbox"/> Traffic Study |
| <input type="checkbox"/> Geotechnical Study and Hydrogeological Study | <input type="checkbox"/> Vegetation Inventory/Preservation |
| <input type="checkbox"/> Heritage Resource Assessment/Study | <input type="checkbox"/> Visual Impact Assessment |
| <input type="checkbox"/> Hydrogeology/Groundwater Study | <input type="checkbox"/> Water Distribution System & sufficient capacity |
| <input type="checkbox"/> Phase I Environmental, investigation if required | <input type="checkbox"/> Wave Uprush Study |
| <input type="checkbox"/> Form 1's – Record of Future Alteration (Water, Sewer and Storm) | <input checked="" type="checkbox"/> Supporting Land Use Planning Report |
| | <input type="checkbox"/> Other: |

NOTES TO OWNER/APPLICANT:

- Applications may be subject to any Town incurred costs over and above the fees set out (See By-law 2016-047) being a by-law to establish general fees and rates for various services provided by the municipality). This is in the form of a deposit fee in the amount of \$2,000 payable to the Town of Gananoque for peer reviews of various studies as outlined in the application.
- Cataraqui Region Conservation Authority (CRCA) - Applications may be subject to review and a separate cheque payable to the CRCA. Fees are identified on the CRCA website <https://cataraquiconservation.ca/pages/permit-fees>. The Town recommends that you consult with a Conservation Authority Officer prior to making application.
- The applicant/owner may be required to provide 100% security of the cost of works in the form of a Letter of Credit or Certified Cheque upon signing of the Development Permit Agreement for all Class III applications and any Class that may require a background study or legal registration of documents.
- Security will remain with the Town until such time as the works are completed for any agreement. A 15% holdback will be maintained for a period of one year after the works are completed. This will be applicable at the time of agreement.

Existing Use(s):

Flea Market

Length of time the existing use of the subject lands have continued: 30 Years

Has the property been designated as a Heritage Site?

☐ Yes☒ No

Is the property presently under a Site Plan/Development Permit Agreement?

☐ Yes☒ No

Has the property ever been subject of an application under Section 34 (Zoning), 41 (Site plan) or 45 (Minor Variance) of the Planning Act?

☒ Yes☐ No

Has the property ever been subject of an application under Section 70.2 (Development Permit By-law) of the Planning Act?

☐ Yes☒ No

If the property has been subject of applications under the Planning Act noted above, provide the file number(s) and the status of the application?

by-law 1997-025 passed to remove
the holding symbol**Proposed Use(s):**

Commercial sports and recreation establishment, including fitness facilities, exercise classes, sports gymnasium and range of complimentary recreational uses – being Gan Fitness

Is the **Use** permitted or permitted subject to criteria as set out in the development permit by-law?☒ Yes☐ NoHow has the applicable criteria have been addressed?
redesignation required

Is/Are variation(s) requested?

☒ Yes☐ No

If yes, what variation is requested and why?

seeking designation to comply

Demonstrate how the proposed variation meets the criteria as set out in the development permit by-law.

see attached planning report

Abutting Land Use(s) – east, west, north, south:

East - Gananoque River

West - Residential

North - Open Space

South - Residential and Neighbourhood Commercial

Is the Development to be phased?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
What is the anticipated date of construction?	Jan 1, 2026
Is the land to be divided in the future?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Are there any easements, right-of-ways or restrictive covenants affecting the subject land?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, please provide details (and copies of covenants with application submission).	

Plan Details: Please ensure that measurements are consistent with plan			
<input type="checkbox"/> Residential	<input checked="" type="checkbox"/> Commercial	<input type="checkbox"/> Employment Lands/ Industrial	<input type="checkbox"/> Institutional
Building Coverage: 24 (%) 633 (sq.m)		Landscape Coverage: 7 (%) 169 (sq.m)	
Building Height: 9.6m	No. of Storeys: 1	No. of Units: 1	Storage of Garbage: indoor

Parking Area:	Existing Parking Surface			
	<input type="checkbox"/> Paved <input checked="" type="checkbox"/> Gravel <input type="checkbox"/> Permeable Parking Area <input type="checkbox"/> Other			
	Proposed Parking Surface:			
	<input type="checkbox"/> Paved <input checked="" type="checkbox"/> Gravel <input type="checkbox"/> Permeable Parking Area <input type="checkbox"/> Other			
	# of Existing Parking Spaces <i>Scattered</i>	# of New Parking Spaces 19	# of Accessible Parking Spaces 2	Total # of Parking Spaces 21
	Dimension of Parking Spaces (m/ft): 3m x 6m		Dimensions of Accessible Parking Spaces (m/ft): 3m x 6m with 1.5m access aisle	

LOADING SPACES, if applicable:	Number of Loading Spaces: 0	Dimensions of Loading Spaces (m/ft):
--------------------------------	--------------------------------	--------------------------------------

Heritage Tourist Inn/Bed and Breakfast/Short Term Accommodation*:		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Is this an application for a Heritage Tourist Inn?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Number of Guest Rooms:	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6
NOTE: A Heritage Tourist Inn will require a Heritage Resource Assessment evaluating the heritage significance of the property including a description of historic features is required with the submission of this application.			
Is this an application for a Bed and Breakfast?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Number of Guest Rooms:	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3
Is this an application for a Short Term Accommodation?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Number of Guest Rooms:	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3

Access*:	Potable Water*:	Sewage Disposal*:	Stormwater*:
<input checked="" type="checkbox"/> Municipal Street	<input checked="" type="checkbox"/> Town Owned/operated Water System	<input checked="" type="checkbox"/> Town Owned/Operated Sewage System	<input checked="" type="checkbox"/> Town Owned/Operated Sewers
<input type="checkbox"/> Existing Private Road/ Lane	<input type="checkbox"/> Private Well	<input type="checkbox"/> Private Septic and Tile Field	<input type="checkbox"/> Swales
<input type="checkbox"/> Existing Right-of-way	<input type="checkbox"/> River	<input type="checkbox"/> Other	<input type="checkbox"/> Ditches
<input type="checkbox"/> Unopen Road Allowance	<input type="checkbox"/> Other:		<input type="checkbox"/> Other
<input type="checkbox"/> Other:			
Provide any applicable hook-up approvals and/or permit number(s) applicable to the above:			

Water Access (where access to the subject land is by water only)			
Docking Facilities (specify)	n/a	Parking Facilities (specify)	
distance from subject land	_____	distance from subject land	_____
distance from nearest public road	_____	distance from nearest public road	_____

EXISTING BUILDINGS:	Building 1 - Primary	Building 2 - Accessory
Type of Structure (ie: wood concrete)	wood	
Date Constructed:	N/A	
Front Line Setback:	0m	
Rear Lot Line Setback:	50m	
Side Lot Line Setback:	0 m (north)	
Side Lot Line Setback:	20.1m (south)	
Height:	7.6m	
Dimensions:		
Floor Area:	392 sq.m	

PROPOSED BUILDINGS:		Building 1 - Primary	Building 2 - Accessory
	Type of Structure (ie: wood concrete)	wood/concrete	
	Proposed Date of Construction:	Jan 2026	
	Front Line Setback:	0 m	
	Rear Lot Line Setback:	50.9 m	
	Side Lot Line Setback:	0 m (north)	
	Side Lot Line Setback:	20.1m (south)	
	Height:	9.6m	
	Dimensions:		
	Floor Area:	633 sq.m	
Attached Additional Page, if necessary			

AUTHORIZATION BY OWNER

I/We, the undersigned being the registered owner(s) of the subject lands, hereby authorize Bethanie Matthews (print name) to be the applicant in the submission of this application. Furthermore, I/we, being the registered owner(s) of the subject lands, hereby authorize Town of Gananoque members of Council, Committee of Council and Municipal Staff, to enter upon the property for the purposes of conducting a site inspection with respect to the subject application.

AGNES TIEKEN.

Owner Name (Please Print)

Owner Name (Please Print)

Signature of Owner

Signature of Owner

Signature of Witness (not applicant)

Date

Aug 13, 2025**CONSENT BY OWNER**

I/We, Agnes Tieken, (print name(s) am/are the registered owner(s) of the land that is the subject of this application for Development Purposes and for purposes of the Municipal Freedom of Information and Protection of Privacy Act. I/We hereby authorize the use, or disclosure, to any person or public body, of any personal information collected under the authority of the Planning Act of the purpose of processing this application.

Signature of Owner

Signature of Owner

Signature of Witness (not applicant)

Date

Aug 13, 2025**DECLARATION OF APPLICANT**

(Print) I, Bethanie Matthews of the Town of Gananoque in the province of Ontario solemnly declare that:

I understand that the applicant/owner will be required to provide 100% security of the outside works in the form of a Letter of Credit or Certified Cheque until such time as the works are completed. A 15% holdback will be maintained for a period of one year after the works are completed. This will be applicable at the time of agreement.

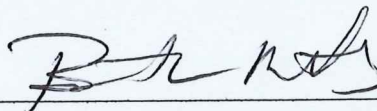
All of the above statements contained in the application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under Oath and by virtue of *The Canada Evidence Act*.

Declared/Sworn before me at

Town of Gananoque
this 3rd day of September,
20 25.

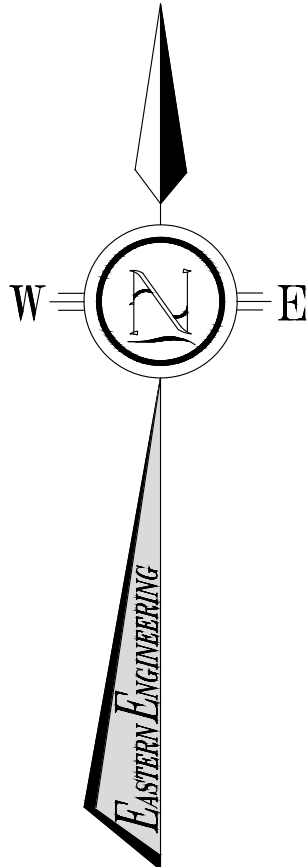
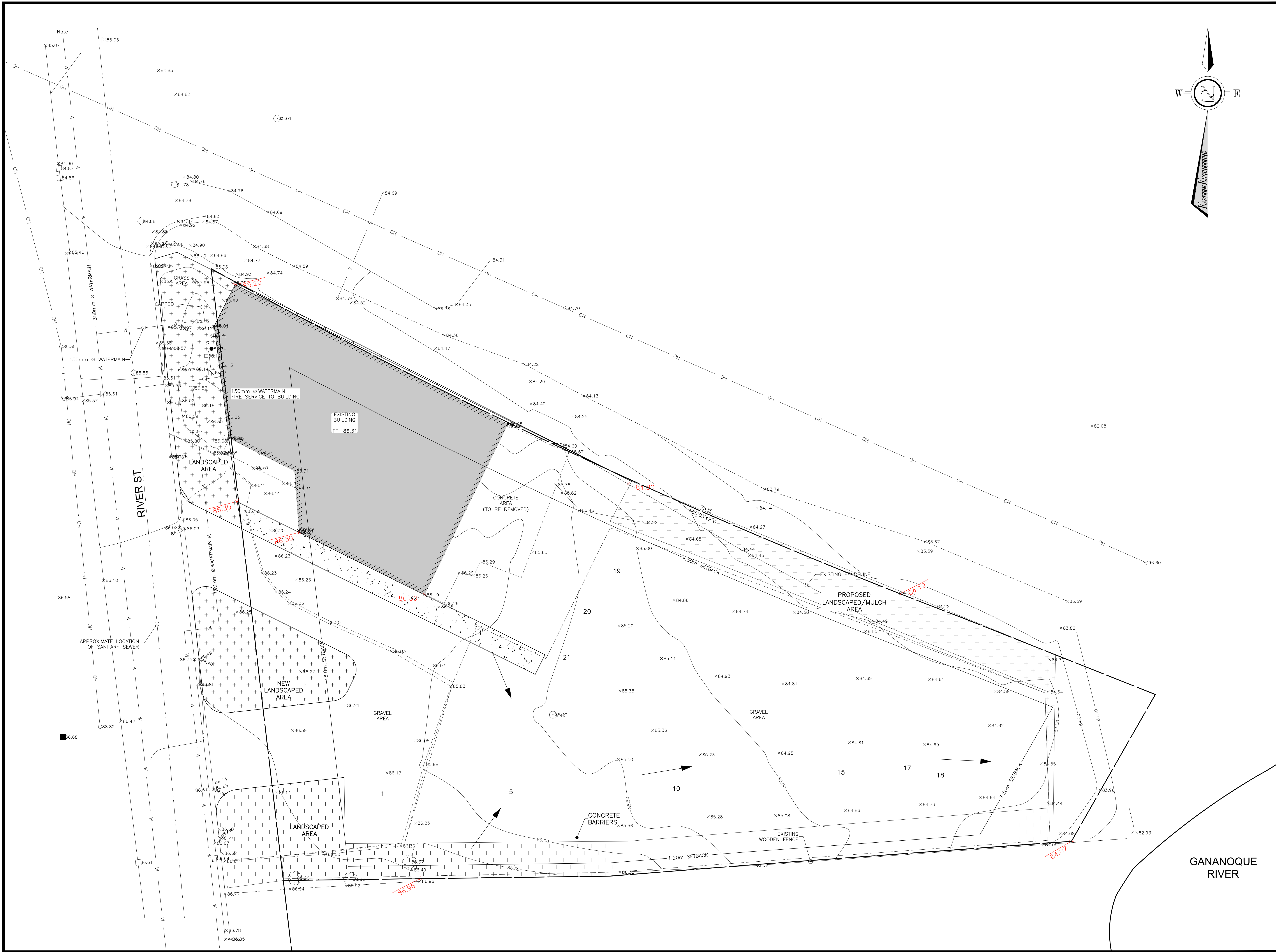
Signature of a Commissioner, etc

Signature of Applicant



Office Use Only:		Roll No: 081400001036800
Official Plan Designation: Residential	Development Permit Designation: Residential	Other:
Access (Entrance Permits etc):	Water and Sewer Hookup (Permits etc):	Other:
Other Concurrent Applications:	<input type="checkbox"/> Cash-in-Lieu of Parking <input type="checkbox"/> Condo Approval <input type="checkbox"/> Consent/ Severance	<input checked="" type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Subdivision Approval
Date Application Received: September 3, 2025	Date Application Deemed Complete: September 3, 2025	Fees Received: \$1900 September 3, 2025

For additional details please contact: Brenda Guy, Manager of Planning and Development
 Town of Gananoque, 30 King Street East, Gananoque, ON K7G 1E9
 (613) 382-2149 ext.1126 E-mail: bguy@gananoque.ca



BENCHMARK

NOTE:
CONTRACTOR TO CONTACT UTILITY COMPANIES TO DETERMINE TYPE, LOCATION, AND CONFIGURATION OF EXISTING PLANT.

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2	BAC	2025-07-04	TOWN COMMENTS
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Brockville, Ont. K6V 5J9
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www.EastEng.com

Project Title:
GAN FITNESS

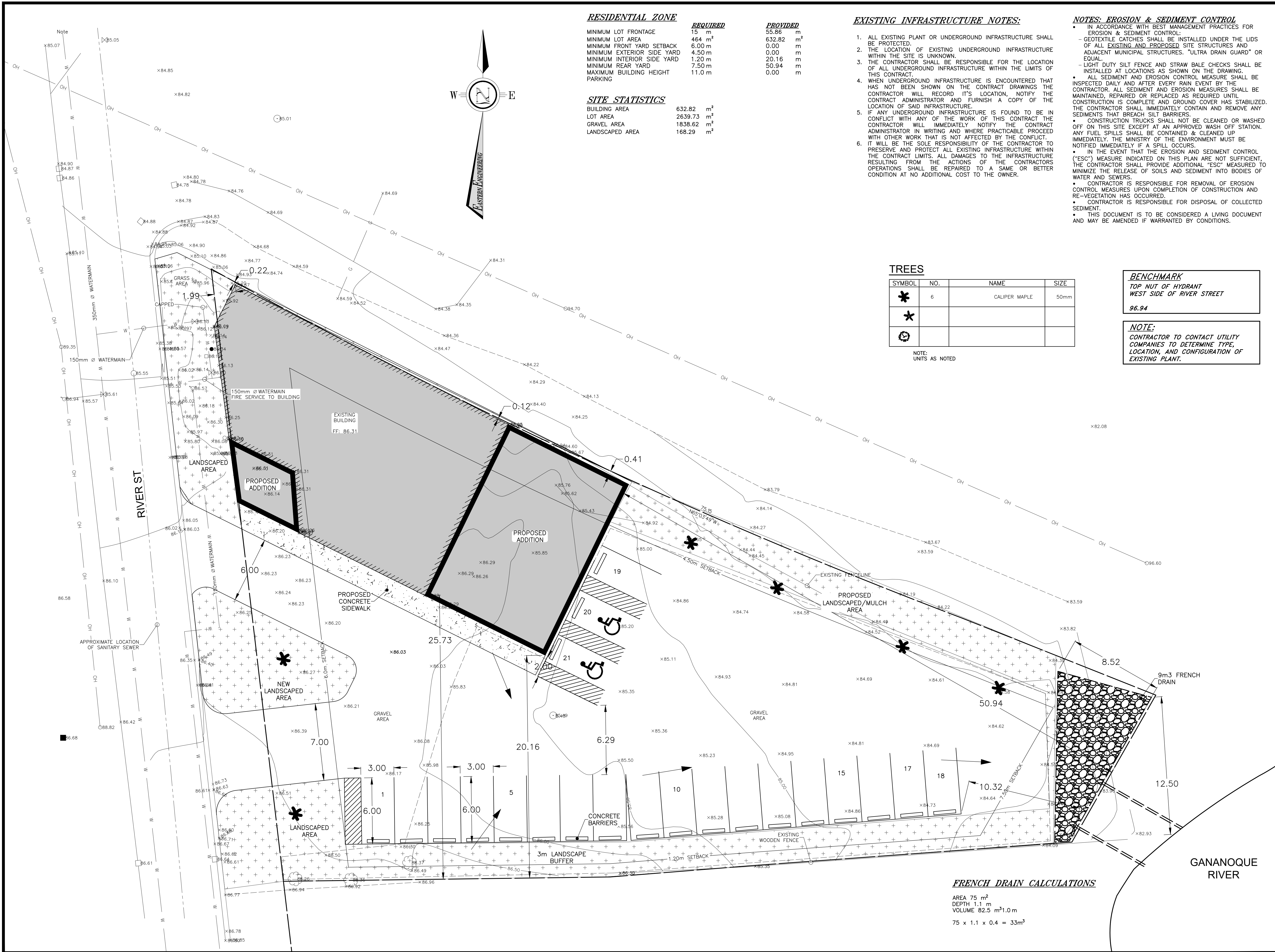
Drawing Title:
EXISTING CONDITIONS

Design:	BC	Checked:	AP	Approved:	CAJ	Project No.:	9027
Drawn:	BC	Checked:	AP	Date:	2025-1-7	Contract No.:	.

Scale:
0 4 8
Horizontal: 200
0 1 2
Vertical: 50
UNITS EQUAL METRES UNLESS OTHERWISE NOTED

C0

File No.: 9027 Cr2.dwg



RESIDENTIAL ZONE

	REQUIRED	PROVIDED
MINIMUM LOT FRONTAGE	15 m	55.86 m
MINIMUM LOT AREA	464 m ²	632.82 m ²
MINIMUM FRONT YARD SETBACK	6.00 m	0.00 m
MINIMUM EXTERIOR SIDE YARD	4.50 m	0.00 m
MINIMUM INTERIOR SIDE YARD	1.20 m	20.16 m
MINIMUM REAR YARD	7.50 m	50.94 m
MINIMUM BUILDING HEIGHT	11.0 m	0.00 m

SITE STATISTICS

BUILDING AREA	632.82 m ²
LOT AREA	2639.73 m ²
GRAVEL AREA	1838.62 m ²
LANDSCAPED AREA	168.29 m ²

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TREES

SYMBOL	NO.	NAME	SIZE
✱	6	CALIPER MAPLE	50mm
✱			
✱			

NOTE:
UNITS AS NOTED

BENCHMARK
TOP NUT OF HYDRANT
WEST SIDE OF RIVER STREET
96.94

NOTE:
CONTRACTOR TO CONTACT UTILITY
COMPANIES TO DETERMINE TYPE,
LOCATION, AND CONFIGURATION OF
EXISTING PLANT.

LEGEND

—	EXISTING TOPO GRADE
—	PROPOSED GRADE
—	EXISTING GRADE
—	STORM SEWER
—	SANITARY SEWER
—	WATERMAIN
—	BELL UNDERGROUND
—	GAS UNDERGROUND
—	CABLE UNDERGROUND
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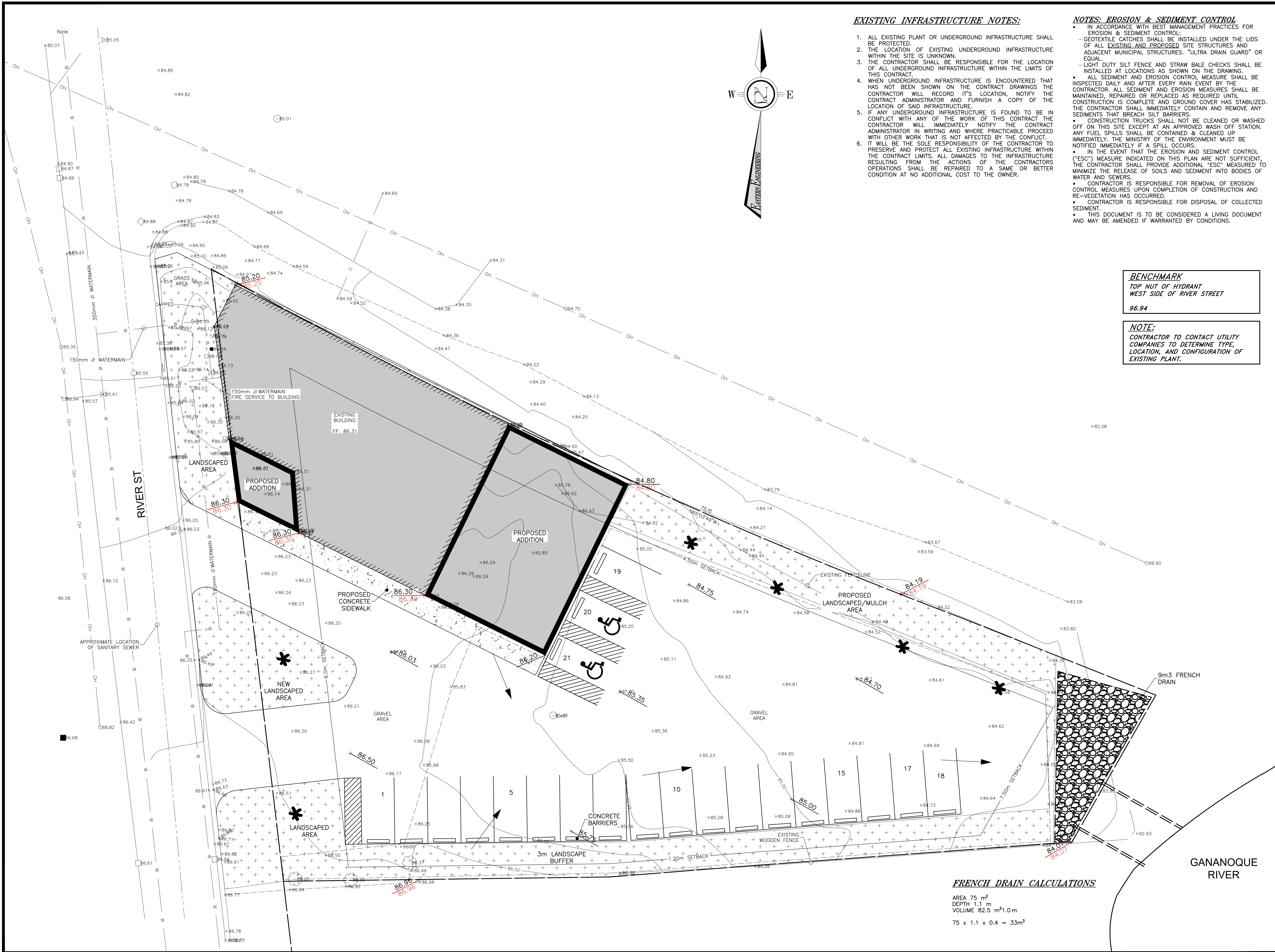
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Project Title: GAN FITNESS			
Drawing Title: SITE PLAN			
Design: BC	Checked: AP	Approved: CAJ	Project No.: 9027
Drawn: BC	Checked: AP	Date: 2025-1-7	Contract No.: .
Scale: 0 3.0 6.0 Horizontal: 150			
UNITS EQUAL METRES UNLESS OTHERWISE NOTED			
File No.: 9027 C12.dwg			

C1



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Project Title: **GAN FITNESS**

Drawing Title: **GRADING PLAN**

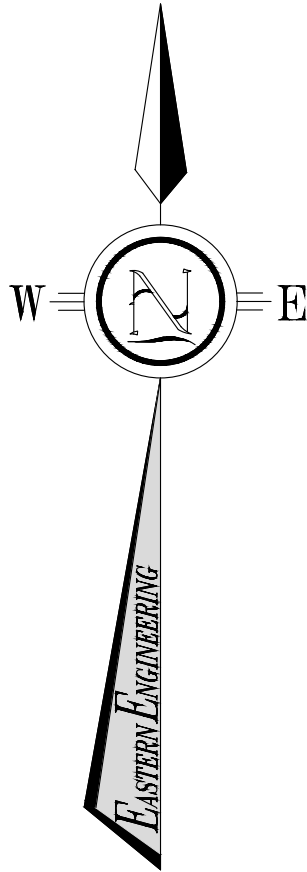
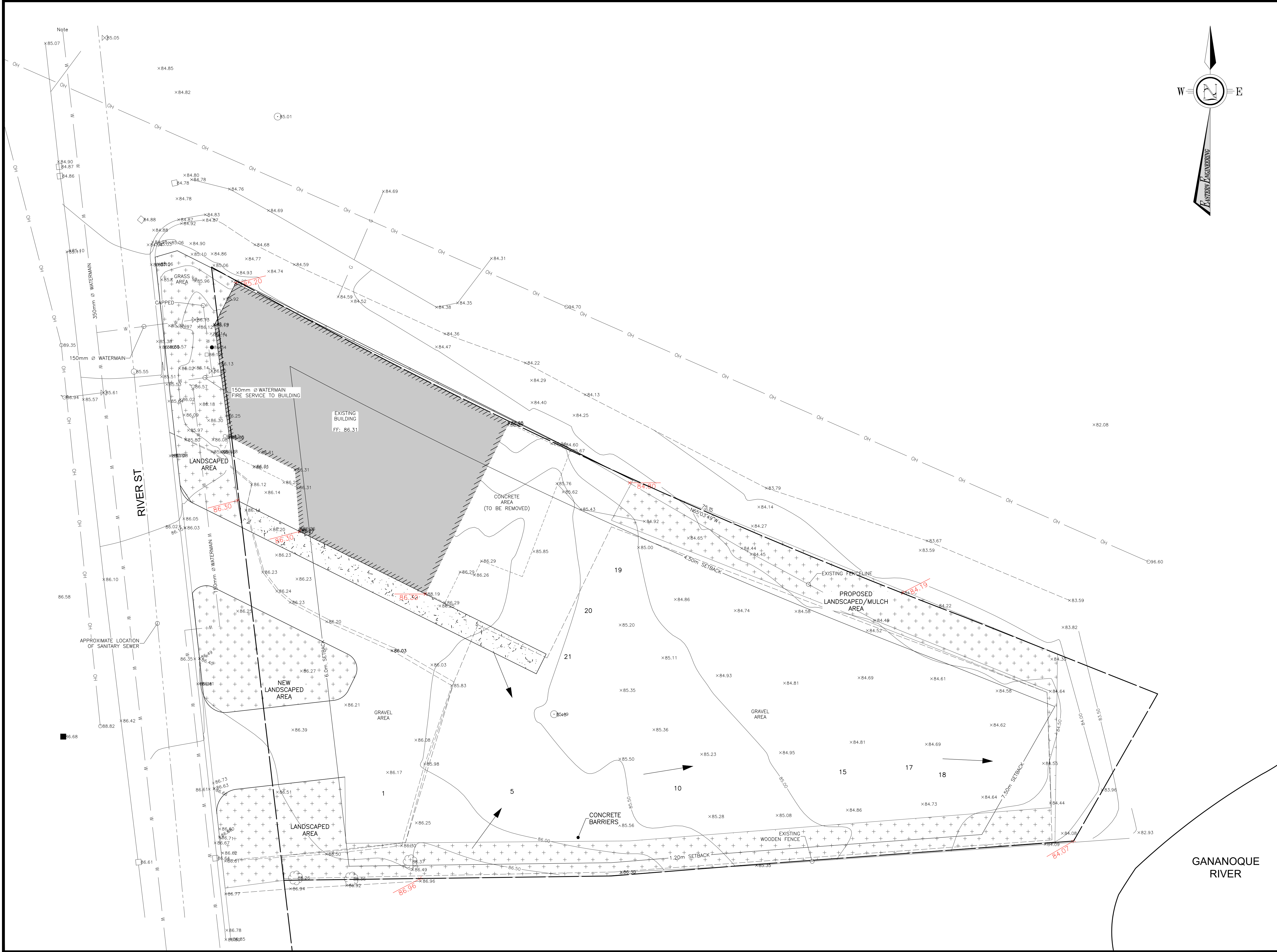
Design: BC	Checked: AP	Approved: CAJ	Project No.: 9027
Drawn: BC	Checked: AP	Date: 2025-1-7	Contract No.: .

Scale: 0 3.0 6.0
Horizontal: 150

UNITS EQUAL METRES UNLESS OTHERWISE NOTED

File No.: 9027 C2.dwg

C2



BENCHMARK

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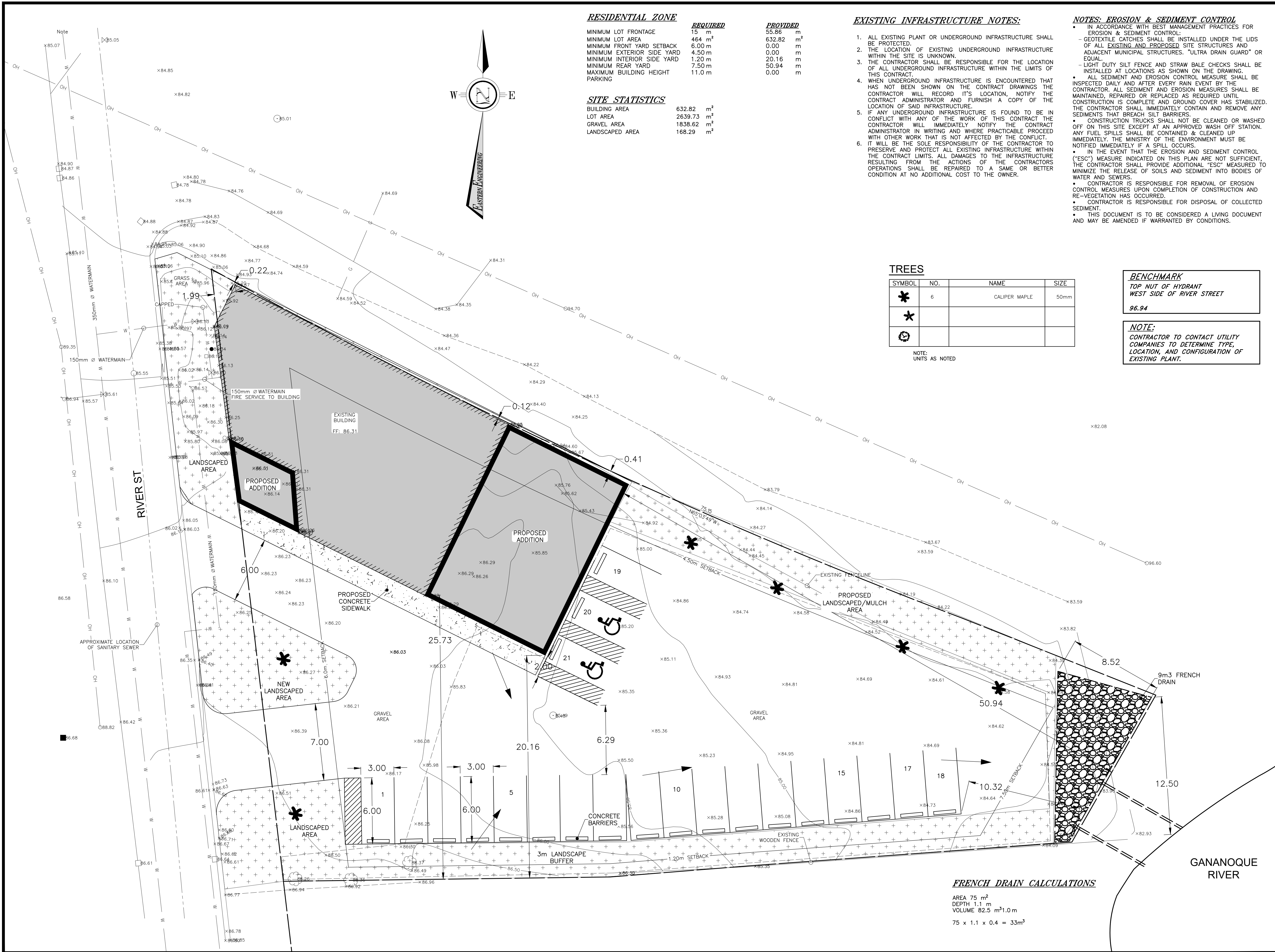
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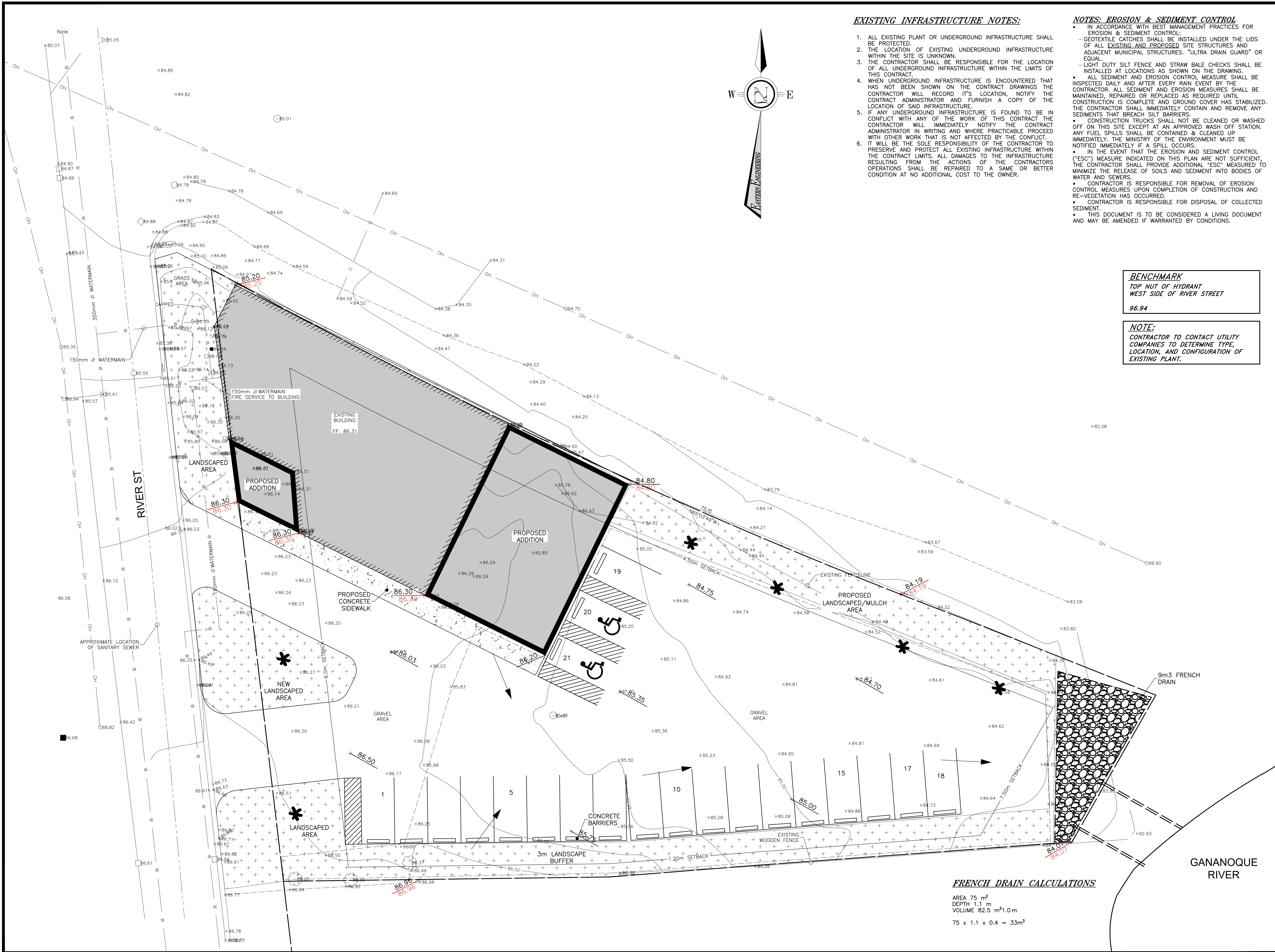
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BC	AP	CAJ	9027

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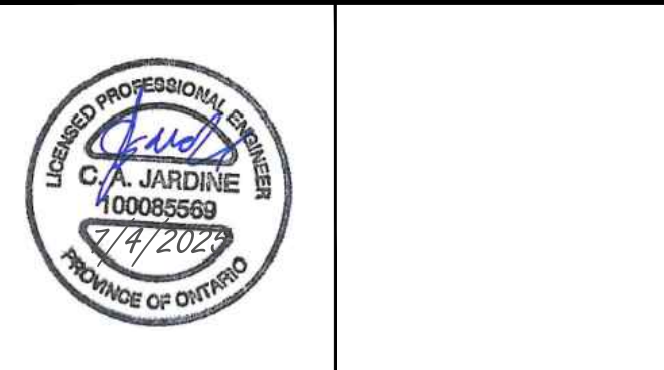
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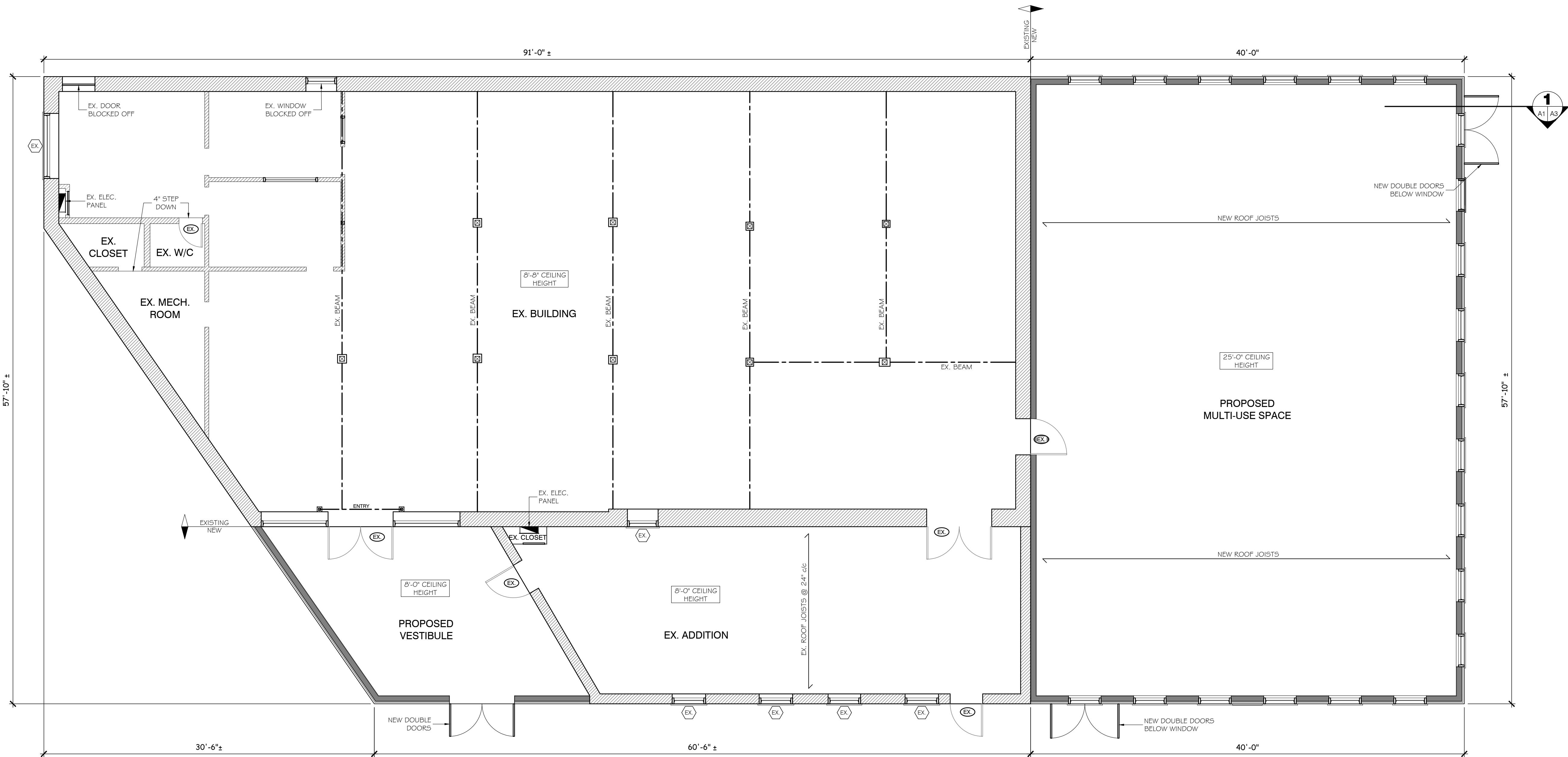
GAN FITNESS

GRADING PLAN

Design: BC	Checked: AP	Approved: CAJ	Project No.: 9027
Drawn: BC	Checked: AP	Date: 2025-1-7	Contract No.: .
Scale: 0 3.0 6.0	Horizontal: 150	Drawing No.: C2	File No.: 9027 C2.dwg

FRENCH DRAIN CALCULATIONS

AREA 75 m²
DEPTH 1.1 m
VOLUME 82.5 m³1.0 m
75 x 1.1 x 0.4 = 33m³



EX. MAIN FLOOR PLAN
SCALE: 3/8" = 1'-0"

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2024 ONTARIO BUILDING CODE.
3. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES FROM THESE PLANS TO THE DESIGNER FOR REVIEW AND/OR APPROVAL.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFEGUARDING AND LOCATING OF EXISTING UTILITIES AND STRUCTURES ON SITE.
5. INSTALL PRE-MANUFACTURED COMPONENTS AS PER THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
6. WHERE NOT NOTED ON DRAWINGS, SPACING ON FRAMING MEMBERS TO BE TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
7. ALL WOOD FRAMING LUMBER SHALL BE GRADE-STAMPED AS SPF No.2 OR BETTER WITH A MOISTURE CONTENT OF 19% OR LESS AT TIME OF CONSTRUCTION.
8. CONSULT WINDOW AND/OR DOOR SUPPLIER FOR THE REQUIRED ROUGH OPENING SIZES PRIOR TO START OF CONSTRUCTION.
9. HEATING, COOLING, PLUMBING AND ELECTRICAL DESIGN SERVICES SHALL BE SUPPLIED BY OTHERS & INSTALLATION SHALL BE AS PER THE ONTARIO BUILDING CODE.
10. ALL FINISH SPECIFICATIONS TO BE APPROVED BY OWNER.
11. SHOP DRAWINGS TO BE PROVIDED BY MANUFACTURER FOR REVIEW.

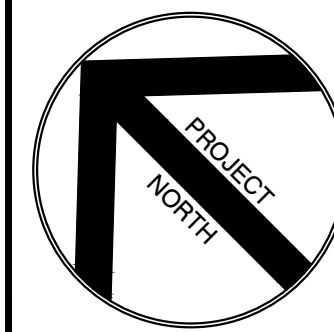
NEW / EXISTING WALLS LEGEND	
	EXISTING WALLS TO REMAIN
	NEW WALLS

2	AGP	2025-09-02	FOR REVIEW
0	AD	2025-04-28	ISSUED FOR CLIENT REVIEW
No.	By	Date	Revisions

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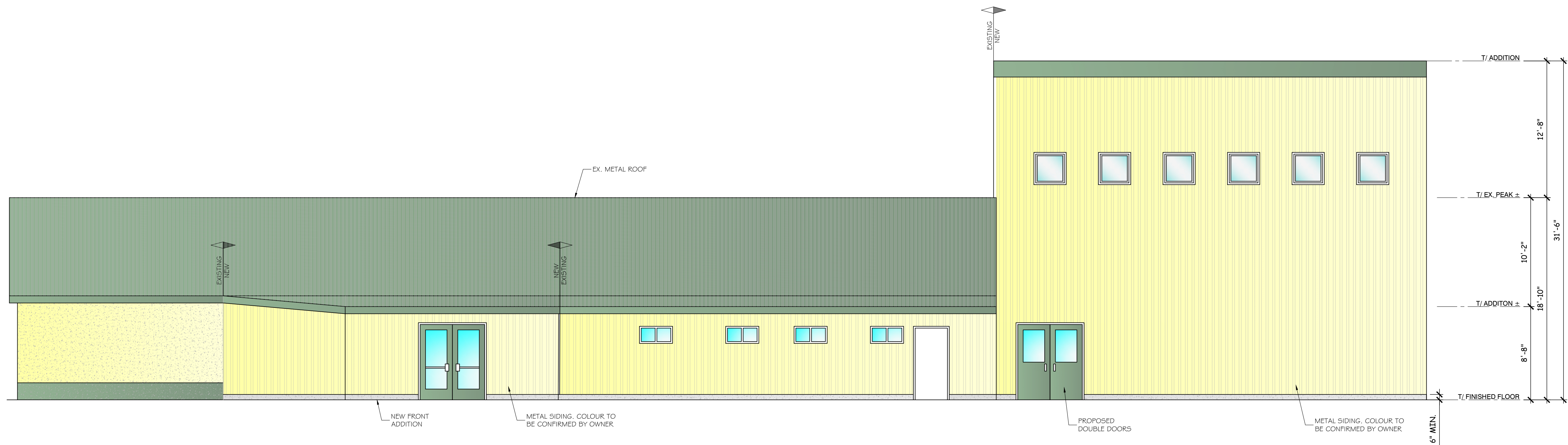
GANANOQUE FITNESS

145 River Street, Gananoque, ON

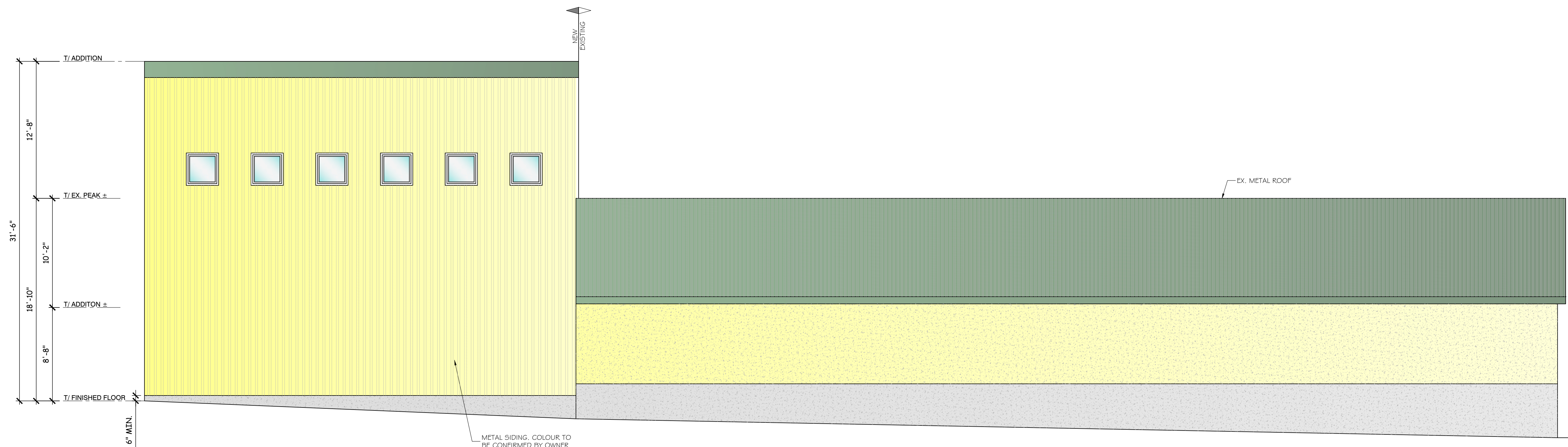
Drawing Title:

MAIN FLOOR PLAN

Design:	Checked:	Approved:	Project No.: 9027
Drawn: AD	Checked:	Date: 2025-04-17	Contract No.: 9027-1
Scale:	Drawing No.: A1		
Horizontal: AS SHOWN		Vertical: AS SHOWN	
REV. DATE: 5/1/2025			



SOUTH-WEST ELEVATION
SCALE: 3/8" = 1'-0"



NORTH-EAST ELEVATION
SCALE: 3/8" = 1'-0"

GENERAL NOTES

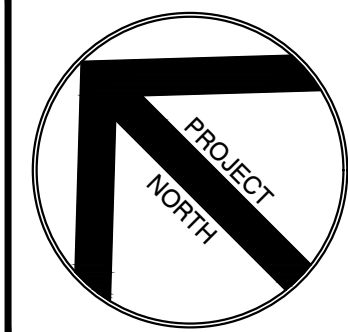
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3. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES FROM THESE PLANS TO THE DESIGNER FOR REVIEW AND/OR APPROVAL.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFEGUARDING AND LOCATING OF EXISTING UTILITIES AND STRUCTURES ON SITE.
5. INSTALL PRE-MANUFACTURED COMPONENTS AS PER THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
6. WHERE NOT NOTED ON DRAWINGS, SPACING ON FRAMING MEMBERS TO BE TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
7. ALL WOOD FRAMING LUMBER SHALL BE GRADE-STAMPED AS SPF No.2 OR BETTER WITH A MOISTURE CONTENT OF 19% OR LESS AT TIME OF CONSTRUCTION.
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10. ALL FINISH SPECIFICATIONS TO BE APPROVED BY OWNER.
11. SHOP DRAWINGS TO BE PROVIDED BY MANUFACTURER FOR REVIEW.

2	AGP	2025-09-02	FOR REVIEW
0	AD	2025-04-28	ISSUED FOR CLIENT REVIEW
No.	By	Date	Revisions

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The contractor must check and verify all dimensions on the job prior to start of construction.

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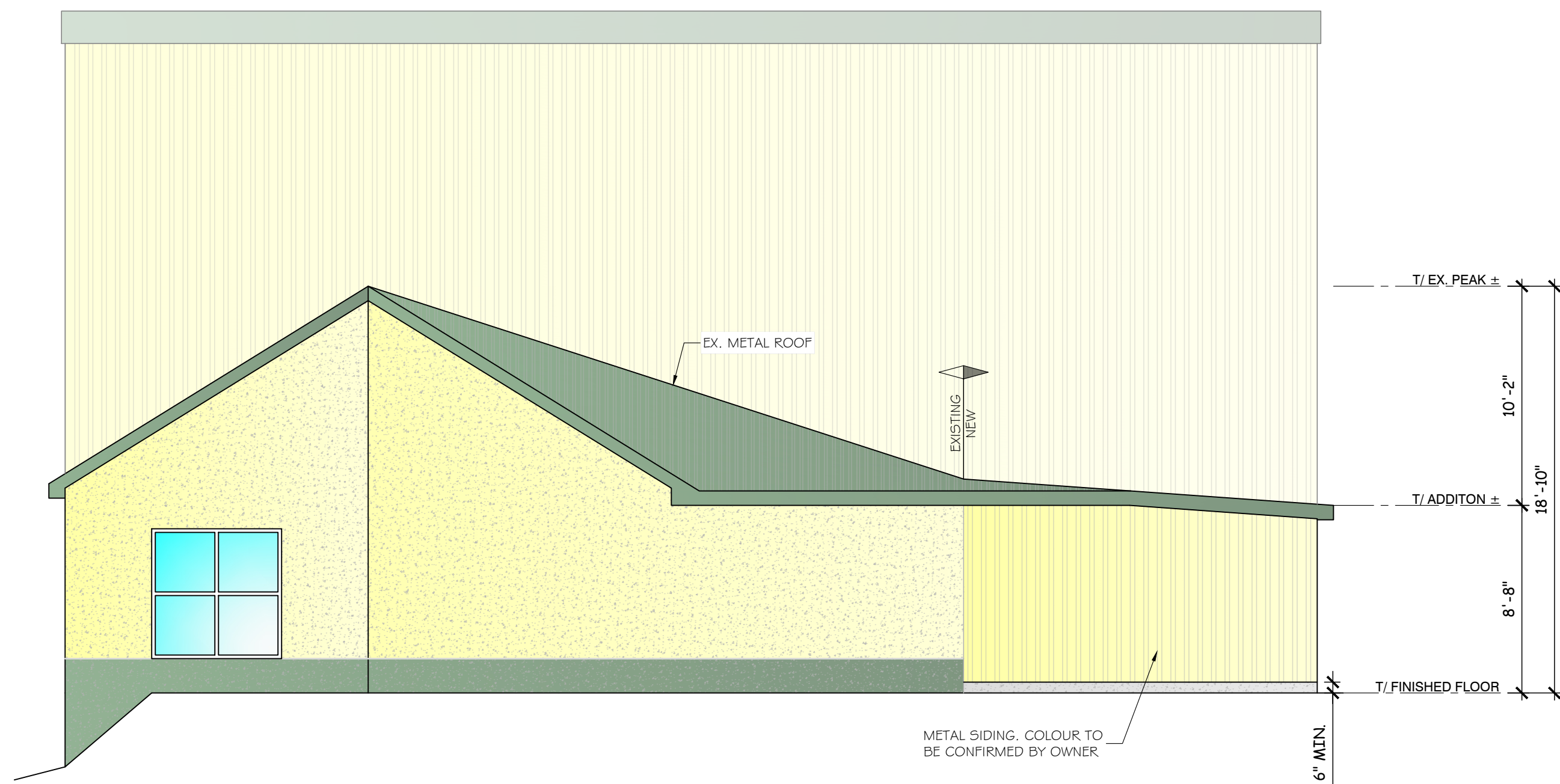
Apex Building
207 - 100 Strowger Blvd.
Brockville, Ont. K6V 5J9

Telephone: (613) 345-0400
Facsimile: (613) 345-0008
www.EastEng.com

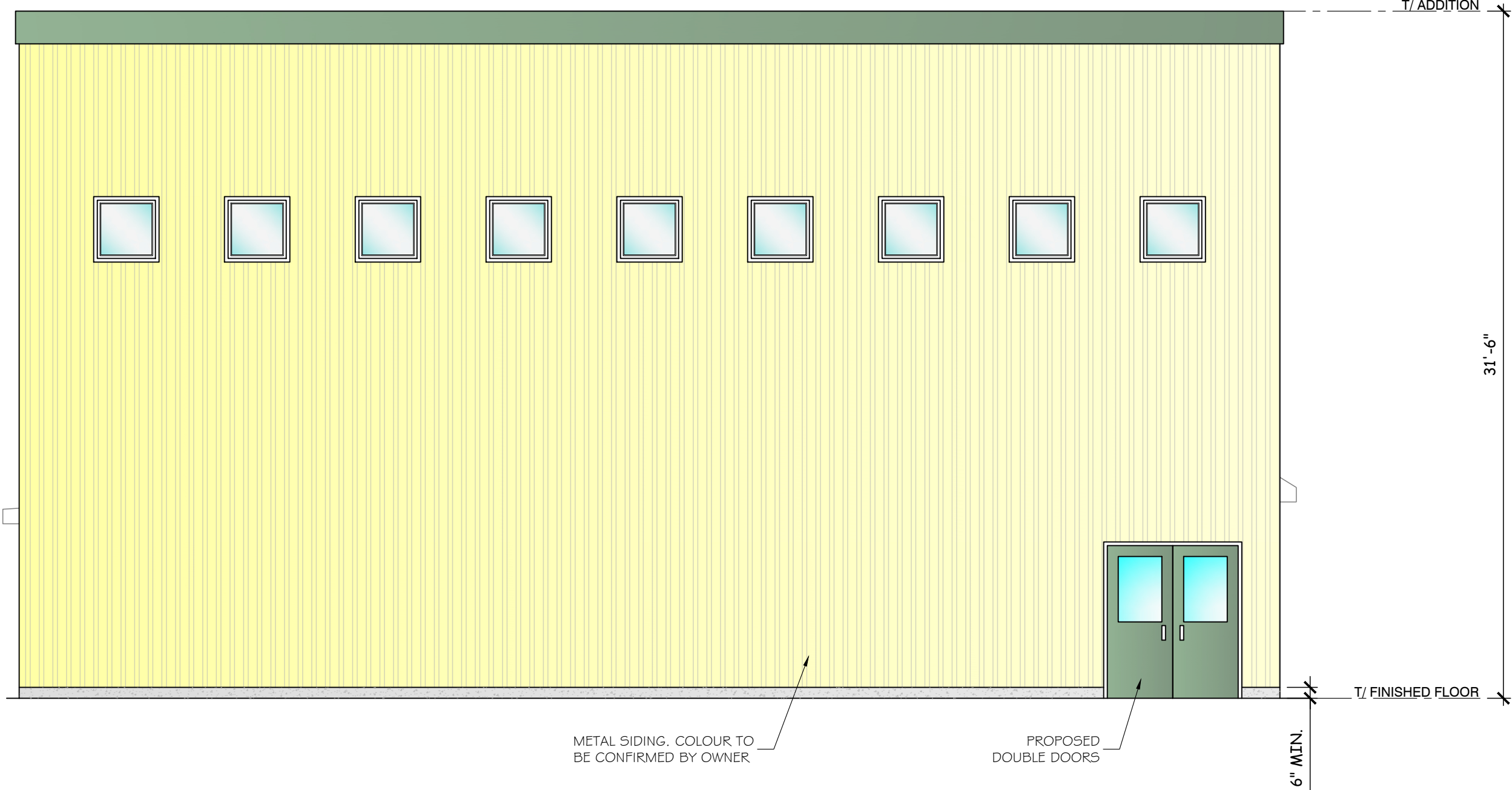
Project Title:
GANANOQUE FITNESS
145 River Street, Gananoque, ON

Drawing Title:
ELEVATIONS

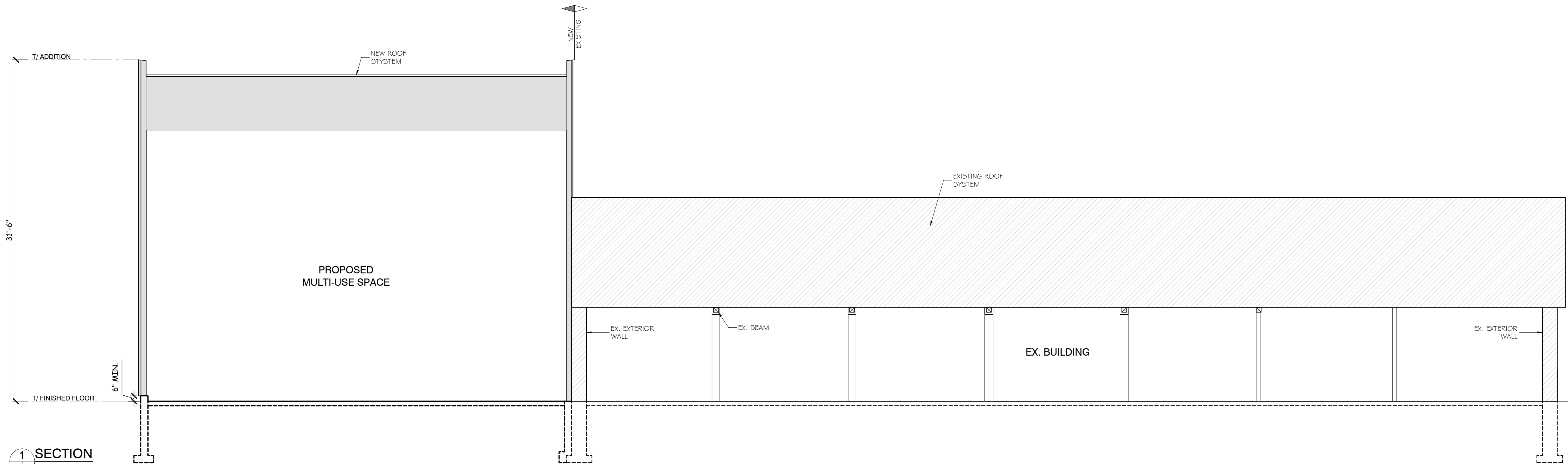
Design:	Checked:	Approved:	Project No.: 9027
Drawn: AD	Checked:	Date: 2025-04-17	Contract No.: 9027-1
Scale:	Drawing No.: A2		
Horizontal: AS SHOWN			REV. DATE: 5/1/2025
Vertical: AS SHOWN			



NORTH-WEST ELEVATION
SCALE: $\frac{3}{8}" = 1'-0"$



SOUTH-EAST ELEVATION
SCALE: $\frac{3}{8}" = 1'-0"$



1 SECTION
A1 A3 / SCALE: $\frac{3}{8}" = 1'-0"$

GENERAL NOTES

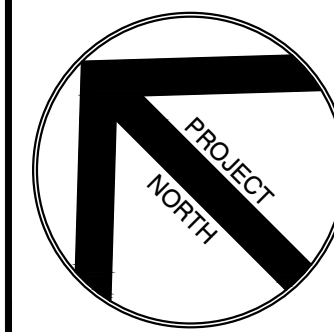
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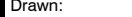


Project Title:

GANANOQUE FITNESS

145 River Street, Gananoque, ON

Drawing Title:

**ELEVATIONS
& SECTION**

Design:	Checked:	Approved:	Project No. : 9027
Drawn: AD	Checked:	Date: 2025-04-17	Contract No. : 9027-1
Scale:		Drawing No. :	
 Horizontal: AS SHOWN			
 Vertical: AS SHOWN			
REV. DATE 5/1/2025			

145 RIVER STREET, GANANOQUE

OFFICIAL PLAN AMENDMENT + CLASS III DEVELOPMENT PERMIT

1

May 29, 2025

Brenda Guy

Manager of Planning and Development
Town of Gananoque

Via Email: bguy@gananoque.ca

**RE: 145 River Street, Gananoque
Application for Official Plan Amendment & Class III Development Permit
Planning Justification Letter**

Dear Ms. Guy,

Fotenn Planning + Design has been retained by the applicant, Bethanie Matthews, to prepare this planning justification letter in support of applications for official plan amendment and class III development permit for the property municipally known as 145 River Street, in the Town of Gananoque. The proposed development consists of adaptively reusing and expanding the existing building on-site to establish a commercial sports and recreation facility.

The site is designated Residential, as per Schedule B of the Town of Gananoque Official Plan (OP). The site is designated Residential and Environmental Constraints, as per Schedule A of the Gananoque Development Permit By-law 2010-75. An official plan amendment is required to redesignate the site from the Residential designation to the General Commercial designation in the Town of Gananoque Official Plan. A class III development permit is required to redesignate the site to a special exception Progressive Commercial designation to establish site-specific permissions for the proposed commercial sports and recreation establishment.

A pre-consultation meeting was held between the applicant and Town Planning Staff. The pre-consultation record prepared by the Town of Gananoque, and subsequent correspondence with staff, confirmed the application requirements. The following materials are included with the submission:

- / Site Plan;
- / Floor Plans and Elevations;
- / Stormwater Management Report; and
- / This Planning Justification letter.

The purpose of this letter is to provide a review of the proposed development against the applicable policy and regulatory framework and provide a professional opinion on the appropriateness of the proposed development on the subject site.

Site Description + Surrounding Context

The property is located on the east side of River Street and abuts the Gananoque Waterfront Trail along the northern property line. The site has an area of approximately 2,640 square metres, with approximately 55.9 metres of frontage along River Street, and approximately 14.9 metres of frontage along the Gananoque River. The site is currently developed with a one-storey commercial building located in the northwest corner abutting River Street and the Gananoque Waterfront Trail. The commercial building was previously occupied by a retail use. The balance of the site is gravelled and the east portion of the site slopes towards the Gananoque River. Vehicular and pedestrian

access to the site is provided from River Street. Vehicular parking spaces are provided to the south and east of the existing commercial building.

The surrounding area is comprised of residential, open space and neighbourhood commercial uses. A Bed and Breakfast establishment is located south of the site and the Steelworkers Park is located north of the site. Sidewalks are present along the west side of River Street across from the property. The adjacent Waterfront Trail provides pedestrian and cyclist access directly to downtown Gananoque.



Figure 1: Surrounding Context (Source: Google Earth, annotated by Fotenn Planning + Design)

The following uses are immediately adjacent to the subject site:

- / **North:** Open space
- / **East:** Gananoque River
- / **South:** Residential and neighbourhood commercial
- / **West:** Residential

Development Proposal

The applicant is seeking to adaptively reuse and expand the existing building located on-site for the use of a commercial sports and recreation establishment, in the form of a fitness facility. The proposed commercial sports and recreation establishment will feature commercial grade fitness equipment, group fitness classes and personal programming, as well as indoor recreational area for various sports uses and e-bike and kayak rentals. The proposed facility will have hours of operation between 5:00 am to 9:30 pm and will typically have no more than 15 members in the facility at one time.

Two additions are proposed to the existing building, including a two-storey 210 square metre addition to the rear of the building, and a one-storey 31 square metre addition to the front of the existing building to provide a new entranceway. The proposed additions will result in a total building area of approximately 633 square metres.

The proposed development will include 16 vehicular parking spaces, including one barrier free parking space, located to the south of the commercial building. A 3-metre-wide landscape buffer will be incorporated along the south lot line between the parking area and the adjacent residential properties to the south. Trees are proposed along the north lot line and stormwater management features, including a French drain, is proposed in the east portion of the site in proximity to the Gananoque River.



Figure 2: Site Plan (Source: Eastern Engineering)

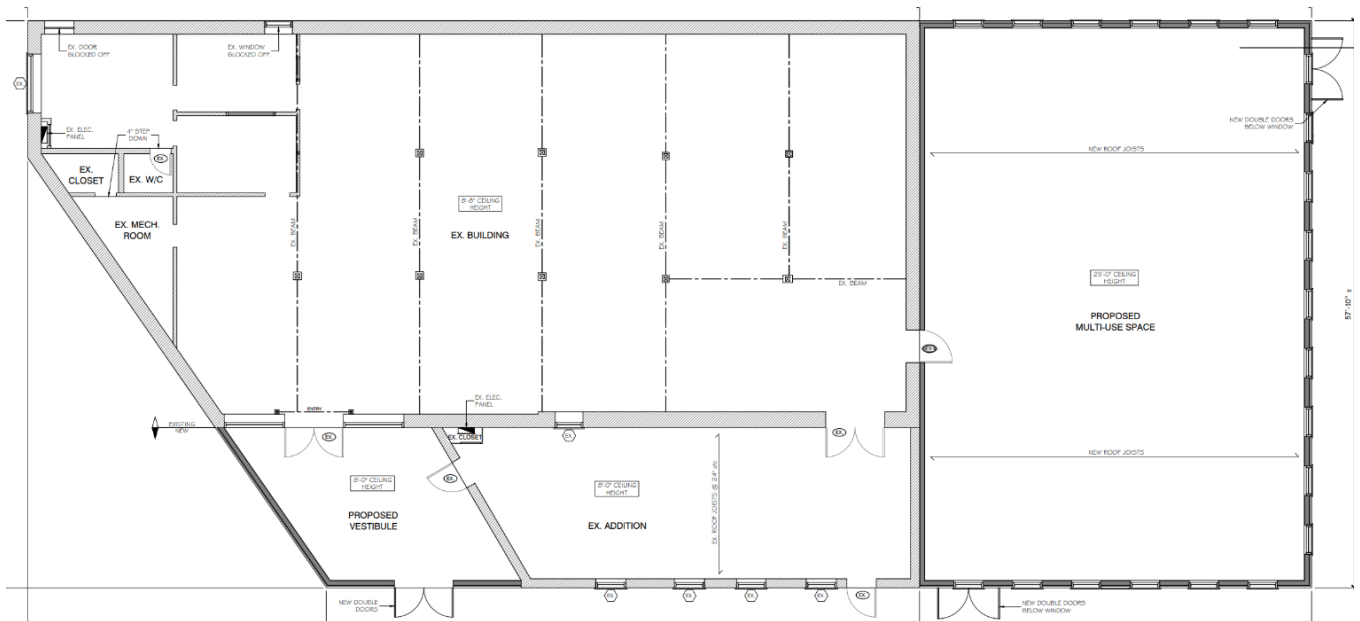


Figure 3: Floor Plan (Source: Eastern Engineering)

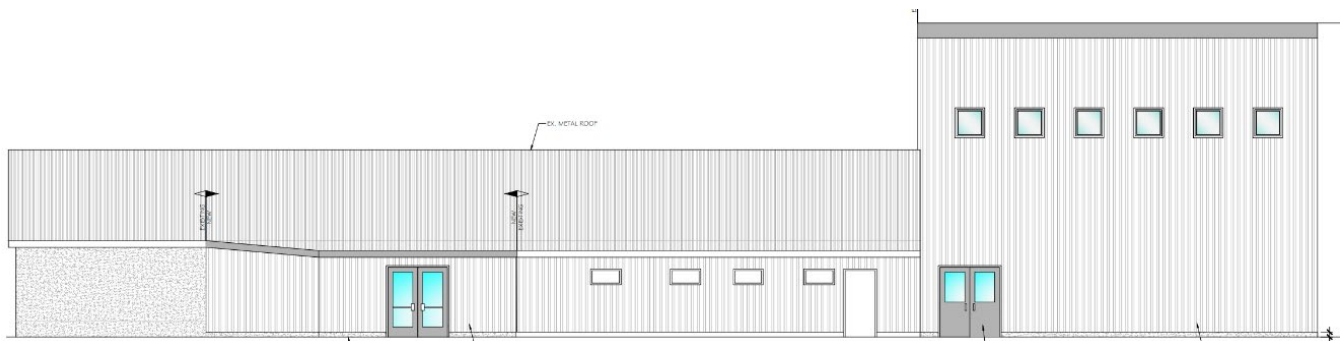


Figure 4: Southwest Building Elevation (Source: Eastern Engineering)



Figure 5: Northeast Building Elevation (Source: Eastern Engineering)

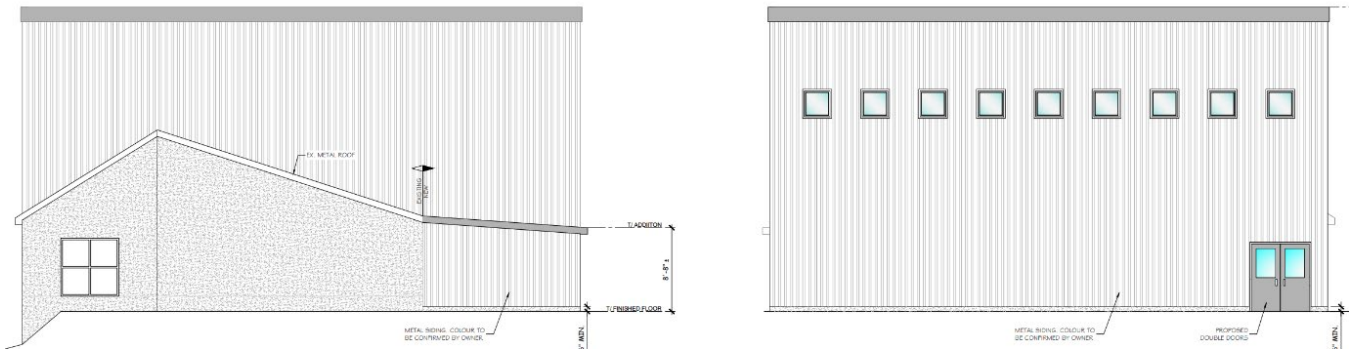


Figure 6: Northwest (left) and Southeast (right) Building Elevations (Source: Eastern Engineering)

Supporting Studies

Stormwater Management Report

A Stormwater Management Report was prepared by Eastern Engineering Group Inc., dated March 2025, to evaluate existing and proposed on-site stormwater management practices. Currently, no stormwater management facilities are present on the site. The existing gravel parking lot drains easterly towards Gananoque River.

The report provides methods to control sediment and erosion during construction, including constructing a silt fence prior to any grading where no construction activity shall occur beyond, and which shall be maintained as per the recommendations in the report, installing catch basin silt traps at all catch basins where runoff can drain, that all earth or topsoil stockpiles be surrounded with a sediment control fence, and that contractors are to clean adjacent roads on a regular basis during construction.

The report outlines that stormwater management practices for the development will be achieved through grading and use of low impact development to treat stormwater runoff on site. Stormwater storage will be provided on surface and through the establishment of an infiltration trench at the eastern portion of the gravelled area, which is labelled French drain on the site plan. Low gradient grassed areas surrounding the site will filter any suspended particulate matter and promote infiltration. The proposed low-slope flow path from the gravel parking area to the proposed infiltration trench will allow for sufficient infiltration. The Stormwater Management Report confirms that the proposed stormwater management measures will limit post development runoff to the five-year pre-development conditions.

Additionally, the report confirmed the existing building is serviced via municipal sanitary and water from adjacent streets. There will be no increase or change in servicing for the building. The existing water is a 150 mm diameter service to the property for fire protection.

Policy and Regulatory Review

Provincial Planning Statement (2024)

The 2024 Provincial Planning Statement (PPS) came into effect on October 20, 2024. The PPS provides policy direction on matters of provincial interest related to land use planning and development. Notably, the 2024 PPS sets out policies to support a strong and competitive economy in Ontario while maximizing investments in infrastructure and public service facilities and protecting natural areas, agricultural uses and sensitive areas. The Provincial Planning Statement (2024) is reviewed as follows.

Chapter 2 of the PPS provides policy guidance for development within settlement areas, as well as policies that consider employment, energy conservation, air quality and climate change.

2.3 Settlement Areas and Settlement Area Boundary Expansions

2.3.1 General Policies for Settlement Areas

1. *Settlement areas shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, strategic growth areas, including major transit station areas.*

The subject site is located within the Town's settlement area, where growth and development are directed to occur.

2. *Land use patterns within settlement areas should be based on densities and a mix of land uses which:*
 - a) *efficiently use land and resources;*
 - b) *optimize existing and planned infrastructure and public service facilities;*
 - c) *support active transportation;*

The proposed commercial sports and recreation establishment will adaptively reuse the existing commercial building that is municipally serviced, representing an efficient use of land, resources and municipal infrastructure. The site is well served by existing active transportation infrastructure, including the Gananoque Waterfront Trail and sidewalks located on the west side of River Street.

3. *Planning authorities shall support general intensification and redevelopment to support the achievement of complete communities, including by planning for a range and mix of housing options and prioritizing planning and investment in the necessary infrastructure and public service facilities.*

The proposed development promotes commercial intensification on an existing commercial building which is municipally serviced, optimizing investment in existing infrastructure. The proposed commercial sports and recreation establishment will contribute to the development of complete communities by supporting the ongoing commercial viability of Gan Fitness, a local fitness club business dedicated to promoting health and wellness. The facility will provide fitness equipment and a range of recreational services, including group fitness classes, personal training programs, sports areas, and rentals for e-bikes and kayaks, all designed to support the well-being of local residents.

2.8 Employment

2.8.1 Supporting a Modern Economy

1. *Planning authorities shall promote economic development and competitiveness by:*
 - a) *providing for an appropriate mix and range of employment, institutional, and broader mixed uses to meet long-term needs;*

The proposed development supports the adaptive reuse and intensification of an existing commercial building. The proposal will provide a commercial sports and recreation establishment in proximity to residential, neighbourhood commercial, and open space uses to serve the recreational needs of current and future residents. The proposed development will support the relocation of Gan Fitness to an area that will support a wide range of community members in proximity to Gananoque's downtown core.

Chapter 3 of the PPS provides direction for locating and sustaining development through a servicing hierarchy and other mitigation measures which support proposed development:

3.6 Sewage, Water and Stormwater

2. *Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas to support protection of the environment and minimize potential risks to human health and safety. For clarity, municipal sewage services and municipal water services include both centralized servicing systems and decentralized servicing systems.*

The subject site is serviced by municipal water and sanitary infrastructure. The proposed development will continue to be serviced by existing connections to municipal water and sanitary infrastructure.

8. *Planning for stormwater management shall:*

- b) minimize, or, where possible, prevent or reduce increases in stormwater volumes and contaminant loads;*
- c) minimize erosion and changes in water balance including through the use of green infrastructure;*
- d) mitigate risks to human health, safety, property and the environment;*
- e) maximize the extent and function of vegetative and pervious surfaces;*

A Stormwater Management Report prepared by Eastern Engineering confirms that post development flows will be maintained to pre-development conditions through proposed stormwater interventions. A French drain is proposed in the eastern portion of the property to provide necessary stormwater storage. A 3-metre landscape buffer will be provided along the site's southern property line, increasing vegetated surfaces on the site.

Chapter 4 of the PPS provides policy direction regarding the protection of natural and cultural heritage resources in the province.

4.1 Natural Heritage

6. *Development and site alteration shall not be permitted in fish habitat except in accordance with provincial and federal requirements.*

The site has frontage on the Gananoque River but does not directly abut the watercourse. No site alteration is proposed within, or in proximity to fish habitat.

4.2 Water

2. *Development and site alteration shall be restricted in or near sensitive surface water features and sensitive ground water features such that these features and their related hydrologic functions will be protected, improved or restored, which may require mitigative measures and/or alternative development approaches.*

Portions of the site are identified as a significant groundwater recharge area and highly vulnerable aquifer as per the Cataraqui Region Conservation Authority. The proposed development is not anticipated to pose any threat to ground water or surface water features, as confirmed by the Stormwater Management Report.

Chapter 5 of the PPS provides policy direction protecting public health and safety by regulating development in relation to natural and human made hazards.

5.2 Natural Hazards

2. *Development shall generally be directed to areas outside of:*
- b) hazardous lands adjacent to river, stream and small inland lake systems which are impacted by flooding hazards and/or erosion hazards.*

All proposed development is located outside of the required 30 metre waterfront setback from the Gananoque River, mitigating flooding and erosion hazards.

It is our professional planning opinion that the proposal is consistent with the Provincial Planning Statement (2024).

United Counties of Leeds & Grenville Official Plan (2016)

The Town of Gananoque is a separated partner municipality that forms part of the geographical boundary of the United Counties but is not administratively part of the Counties. The policies of the United Counties Official Plan do not apply within the Town of Gananoque, except in so far as they may address planning matters which require cross-jurisdictional coordination. No cross-jurisdictional coordination is anticipated to be required regarding the proposed development. As such, the policies of the United Counties Official Plan are not included as part of this planning policy review.

Town of Gananoque Official Plan (2009)

The Township of Gananoque Official Plan (OP) passed in September 2009 describes goals, policies and objectives intended to guide the Township's development over the next 20 years. It is understood that the Town of Gananoque is undertaking an update to the OP. A Draft Official Plan (draft OP) is publicly available on the Town's website, dated December 6, 2024, and will be reviewed in the subsequent section of this report. The subject site is designated Residential, as per Schedule B of the current OP.



Figure 7: Town of Gananoque Official Plan Schedule "I" Land Use (Source: Town of Gananoque annotated by Fotenn)

An official plan amendment is proposed to redesignate the site to General Commercial to permit the proposed commercial sports and recreation establishment. For the purpose of assessing the appropriateness of the proposal in the context of the OP, the development will be assessed under the proposed General Commercial designation.

The following OP Sections will be discussed as they relate to the proposed development with policies identified as being relevant to the application indicated in *italics*.

- / Section 2.0: Vision, Guiding Principles, and the Planning Context
- / Section 3.0: Land Use Policies
- / Section 4.0: Making it Work – Our Infrastructures
- / Section 5.0: Implementing the Plan – Planning Toolkit

Section 2.0 of the OP describes the long-term vision and guiding principles of the Plan. Sections 2.1 and 2.2 of the OP outline the vision for the Town of Gananoque, as well as the key guiding principles at the core of the OP's policies. The vision statement is intended to be the expression of Council's vision for the future of the Town.

2.1 Our Vision

Our Vision is to preserve and enhance the Town's unique "small town" heritage, preserve our historic and environmental character, and provide a high quality of life through a sustainable development pattern.

The proposed development enhances the character of the surrounding area by adaptively reusing the existing building and supporting a modest expansion of the existing building. The proposed commercial sports and recreation establishment will support the health and wellbeing of the community by providing a wide range of recreational services, promoting a high quality of life.

2.2 Our Guiding Principles

2. *The waterfront will be maintained and improved as a community focal point and will be enhanced through balanced, sustainable public and private development.*

The proposed commercial sports and recreation establishment will be setback approximately 56 metres from the Gananoque River, ensuring no negative impacts to the waterfront. The proposed development will support locally appropriate commercial development which will contribute to the recreational amenity of the waterfront area, providing services such as e-bike and kayak rentals, sports areas, and fitness programming.

4. *We are committed to preserving and enhancing the quality of our residential neighborhoods through appropriate housing types, densities and transitions from adjoining land uses.*

The proposed development will consist of two additions to the existing commercial building on the site and the establishment of a commercial sports and recreation establishment in the adaptively reused building. The site is located in a predominantly residential area with neighbourhood commercial uses located to the south and open space uses located with the east and north. The majority of building and site changes will be located in the east portion of the site, farthest from residential uses to assist with preserving the quality of the area. A 3-metre landscape buffer will be provided along the southern lot line of the property to support appropriate transitions between the commercial use on the site and the adjacent residential neighbourhood.

7. *We are committed to increasing the diversity of arts, cultural and recreational opportunities.*

The proposed commercial sports and recreational facility will provide a wide range of recreational opportunities including group fitness classes and personal programming, indoor recreational areas for various sports uses and e-bike and kayak rentals.

8. *We will protect our natural environment.*

The proposed development is adequately separated from the Gananoque River, protecting the natural environment. The proposed stormwater management measures will ensure no negative impacts to groundwater or surface water. The proposed development represents the adaptive reuse and modest expansion of the existing building, minimizing land consumption, and thereby protecting the environment.

2.3 Planning Context

1. *Future residential and non-residential growth and development shall occur in the Town's settlement area which is defined as all of the land located inside the Town's corporate limits with the exception of lands designated Rural as shown on Schedule E.*

The proposed development supports commercial growth within the Town's settlement area.

2. *Future development shall occur through logical planned extensions of existing developed areas, through infill on existing vacant lands in developed areas or through redevelopment of existing developed lands.*

The proposed development supports the adaptive reuse and modest expansion of an existing commercial site.

3. *It is the intent of this Plan to achieve a modest increase in the density and intensity of land use through the redevelopment or re-use of existing vacant or underutilized buildings and properties. Increased land use density, though desirable to ensure more efficient delivery of public services, shall not occur where*

increased density or intensity of use would result in a negative impact on an areas heritage value or on a neighborhood's existing residential character.

The proposed development represents adaptive reuse and modest expansion of the existing commercial building, and the establishment of a commercial sports and recreation facility. The development will result in a modest increase in intensity on the site through redevelopment. The proposed adaptive reuse of an underutilized commercial building will be supported by existing municipal services and is not anticipated to result in negative impacts to the surrounding residential neighbourhood.

Section 3.3 of the OP outlines the policy direction for Commercial lands in the Town. The proposed official plan amendment seeks to redesignate the site from the Residential land use designation on Schedule B to the General Commercial land use designation on Schedule C, to permit the proposed commercial sports and recreation establishment on the site. Section 3.3 states that enhancing commercial development is crucial to the Town's quality of life, and that commerce provides employment through the sale of goods and services to residents and visitors, which supports the financial wellbeing of the town. Section 3.3 identifies that currently, King Street is the Town's primary commercial artery where all commercial designations are located. The OP does not prohibit General Commercial development outside of the King Street artery.

Section 3.3.1 sets out a goal of providing a supportive land use policy framework which reduces constraints for commercial development, while ensuring that commercial uses contribute to the Town's small town character. Section 3.3.1 also provides the following objectives:

1. *Support a diverse range commercial uses that meet the existing and future needs of the community and reduces the need for residents to shop elsewhere;*

The proposed development will support the creation of a diverse range of commercial uses within the community by establishing a commercial sports and recreation establishment in proximity to the Town's core, promoting recreational opportunities, and supporting the health and well-being of residents.

2. *Accommodate a range of commercial formats from smaller pedestrian-oriented stores in the central King Street area to highway commercial type uses near Highway 401;*

The proposed development represents a smaller pedestrian oriented commercial use and building. Two additions are proposed to the building which will provide sufficient space to accommodate the proposed commercial use, while keeping with the character of the existing building with the surrounding residential neighbourhood.

4. *To encourage the maintenance and improvement of existing commercial buildings.*

The proposed development will support the ongoing commercial viability of the existing building, by providing new uses within an underutilized commercial building. The new additions and improvements will support the long-term upkeep of the existing commercial building.

3.3.2.1 General Commercial Policy Area

3.3.2.1.1 Permitted Uses

Retail and service commercial development intended to serve the needs of local residents and visitors and include a wide range of small scale uses including retail stores, personal service establishments, professional offices, restaurants, banks and financial services, travel accommodations, and community services.

The proposed commercial sports and recreation establishment will provide personal services by supporting the recreational needs of local residents and visitors through the provision of commercial fitness equipment, fitness classes, sports areas, and e-bike and kayak rentals.

3.3.2.1.2 General Commercial Policies

All new commercial development, and infill commercial development in existing areas shall provide adequate off-street parking. Access to parking shall be designed to minimize conflict between pedestrian and vehicular traffic. Access to commercial development from residential streets shall be avoided.

New or redeveloped commercial uses in the General Commercial designation shall be oriented to pedestrian and vehicular traffic with an emphasis on the ease of movement for pedestrians between commercial establishments.

Where off street parking is required due to development or redevelopment of commercial land uses, such parking shall generally be located to the side or rear of establishments in order to foster a pedestrian friendly environment.

The proposed development will incorporate a total of 16 parking spaces, including one barrier free parking space, to adequately provide on-site parking for users. The existing vehicular entrance to the site will be maintained to support safe vehicular access to the site. The existing commercial building is oriented towards River Street and the Gananoque Waterfront Trail, and a proposed addition will provide an improved building entrance to facilitate ease of access from the proposed parking area and River Street. Proposed parking spaces are located to the rear and side of the existing commercial building.

Section 3.6 of the OP provides policy direction on matters relating to sustainability and the protection of the Town's natural heritage landscape. As per Schedule F of the OP, the subject site features, or is immediately adjacent to, certain limited natural heritage features, including areas of unstable slope, flood plains, and fish spawning areas. The proposed development has a setback of approximately 56 metres from the Gananoque River, which is the location of the identified natural heritage features. The proposed development is not anticipated to have any impact on natural heritage features and will not pose a danger to public safety or health.

Section 3.7 of the OP provides policies relating to development constraints posed by hazardous conditions, including floodplains, erosion hazards, and the presence of unstable slopes or organic soils. Unstable slopes and a flood plain line are located on the site, as identified on Schedule G. The proposed development is sufficiently set back from the development constraints identified on the site, and as such, the proposed development will not pose a danger to public health or safety, or result in property or environmental damage.

Section 4.0 of the OP provides policy direction regarding local infrastructure, including matters such as roads, servicing, and stormwater management. As per Section 4.1, it is the goal of the OP to ensure that effective infrastructure services are provided in a cost-effective manner, and which ensures the protection of our environment.

4.1.3.2 Local Roads

2. *Local Collector Local collectors are identified on Schedule H. Access to local collectors shall generally be minimized in order to ensure that the main function of the roadway as an efficient transportation artery is maintained. Access control shall be established in the zoning by-law. The minimum width of any local collector right of way shall be 20 metres.*

The site has frontage on River Street, which is identified as a collector road on Schedule H. The existing entrance from River Street will be maintained, and no additional entrances are proposed to be created.

4.1.4 Water, Waste Water and Stormwater Services

4.1.4.1 General Policies

2. *Development will not be encouraged where such development would result in, or could lead to, unplanned expansions to existing water and waste water infrastructures.*

The proposed development will be sufficiently serviced by existing municipal water and sanitary services. There will be no increase or change in servicing for the building.

5. *Stormwater management will be required, as outlined in MOE's Stormwater Management Planning and Design Manual 2003, for all new development in accordance with guidelines which may be developed by the Ministry of Natural Resources, the Cataraqui Region Conservation Authority or the Town of Gananoque. Stormwater management may not be required for small scale developments such as lots created through the consent process or minor developments subject to site plan control where there is no impact on the watershed.*

The Stormwater Management Report confirms that no adverse impacts are anticipated as a result of the proposed development. Stormwater Management measures are outlined in the report and will be implemented on-site as described.

4.1.6 Surface Management Plans

In order to control flooding, ponding, erosion and sedimentation and to protect, as much as possible, water quality and aquatic habitat or other natural habitat which depend upon watercourses and other water bodies for their existence, surface water management plans (or stormwater management plans) shall be required for some forms of new development. Storm water management plans shall be required for any new development consisting of more than four lots or for commercial or industrial developments with large amounts of impervious area. Stormwater management will be undertaken in accordance with the Ministry of the Environment Guideline entitled "Stormwater Management Planning and Design Manual, 2003". Stormwater management may not be required for small scale developments such as lots created through the consent process or developments subject to site plan control where there is no impact on the watershed.

The Site Plan prepared in support of the subject applications provides details related to grading, drainage, stormwater management and erosion and sediment control, in accordance with the pre-application requirements. The Stormwater Management Report confirms that no negative impacts are anticipated as a result of the proposed development.

Section 5.0 of the Official Plan outlines the various planning tools available for implementation of the policies in the Plan, including general criteria for new development applications.

5.4.4 Development Criteria

Councils shall consider the following development criteria when reviewing the compatibility and appropriateness of any new development or redevelopment, when considering amendments to the Zoning By-law and in considering, where applicable, the requirements for site plan control under Section 41 of the Planning Act:

1. *The provision of safe access onto or from a local or Town road or provincial highway.*

Access to the site is provided from River Street, which is identified as a local collector road on Schedule H of the OP.

2. *Adequate access to, and provision of, off-street parking.*

The development will include 16 on-site parking spaces, including one barrier free parking space. Parking spaces are provided to the side and rear of the existing commercial building and will be accessed from the entrance from River Street.

3. *Barrier-free access to public and commercial buildings and the designation of parking spaces for physically challenged persons.*

One barrier free parking space will be provided on the site, as required by the Development Permit By-law. The proposed building additions will comply with the Ontario Building Code, meeting all relevant provincial standards to ensure accessibility.

4. *Access and maneuvering of emergency vehicles in providing protection to public and private properties.*

The proposed site layout meets all minimum standards to ensure the safe and efficient movement of vehicles.

5. *The availability of municipal services and the cost of upgrading such services including water, sewage treatment facilities, fire and police protection, street lighting, roads and winter maintenance, waste disposal, community facilities and recreation.*

No changes to municipal services are required for the building, minimizing unnecessary infrastructure costs.

6. *Adequate grade drainage or storm water management and erosion control.*

The Stormwater Management report confirms that adequate drainage, stormwater management, and erosion control measures are planned or present on the site.

8. *The provision of landscaping, the creation of privacy and/or open space areas around buildings and other uses, and the establishment of setbacks to maintain proper distance separation between new development and natural heritage sites, natural hazards and resource areas and development constraints such as noise and vibration.*

The proposed development will be setback approximately 56 metres from Gananoque River, a natural heritage feature. The separation between the River and the commercial building will consist of landscaped area, the proposed French drain for stormwater management purposes, and the gravel parking area. The proposed development will be adequately separated from natural heritage features, natural hazards and any development constraints.

9. *Adequate exterior lighting for access and parking areas for public or private use such as in commercial, industrial, institutional and multiple residential development.*

Adequate exterior lighting will be provided for the building and parking area.

10. *The control of signs and advertising such that they are in scale with the intended use and with surrounding uses.*

Any on-site signage will be scaled appropriately.

11. *Protection of the environment by avoiding air, soil or water pollution.*

The proposed development mitigates impacts to the environment by supporting commercial intensification through the adaptive reuse of an existing commercial building. The proposed development will have no adverse impact on the Gananoque River, as confirmed through the Stormwater Management Report. The proposed development will not result in the creation of air, soil or water pollution.

12. *The preservation and protection, whenever possible, of street trees, street tree canopies and the urban forest.*

The subject site does not contain any trees, however, trees are proposed to be planted along the north lot line.

13. *The adequacy of school board facilities to accommodate new development or redevelopment and the provision or availability of school bussing.*

No new residential development is proposed as part of the applications.

14. *Protection or enhancement of natural resource values.*

The proposed development is sufficiently set back from the Gananoque River and will not pose any adverse impacts to groundwater or surface water, preserving the natural heritage value of the watershed.

15. *Conserving cultural heritage resources.*

No cultural heritage resources are identified on or in proximity to the site, as determined by the Town of Gananoque's Municipal Register of Designated Properties.

16. The physical suitability of the land for the proposed use.

The site is suitable to support the proposed commercial sports and recreation establishment, as it provides an adequate lot area and topography, sufficient access to River Street, municipal services, and adequate off-site parking.

17. Safety and Security Criteria

When reviewing development applications, ensure that safety and security measures are considered through such means as:

- 1. sufficient lighting in spaces intended for public use after dark to support the kind of activities envisioned for that space;*
- 2. signs and an overall pattern of development that supports users' sense of orientation and direction;*
- 3. preservation of clear lines of sight for persons passing through the space;*
- 4. attention to the proposed mix of uses and their proximity to each other to ensure they are complementary;*
- 5. the routing and design of bicycle and pedestrian routes so that they are accessible to populated areas.*

The development will incorporate sufficient lighting, signage and clear lines of sight. The proposal seeks to adaptively reuse the existing building and continue a commercial use on the property in proximity to residential, open space and neighbourhood commercial uses. The proposed use is appropriately located and will ensure a complementary mix of uses. Pedestrian routes will be provided within the site in proximity to the building and parking areas.

Section 5.9 of the Official Plan pertains to encouraging new economic growth within the Town.

5.9.2 Goals and Objectives

Goal: To sustain the strengths of the existing economic base and to broaden the Town's employment opportunities.

Objectives:

- 1. To sustain and to build on the existing strength of the commercial, industrial and tourism sectors of the economy.*
- 2. To undertake initiatives to stimulate new employment generation.*
- 3. To work cooperatively with senior governments and community groups in promoting and undertaking economic development activities.*

The proposed commercial sports and recreation establishment will support the ongoing commercial viability of Gan Fitness, an established local fitness club business, sustaining the Town's economic base, and providing vital recreation services.

It is our professional planning opinion that the proposed official plan amendment and class III development permit applications conform with the general intent of the applicable policies of the Town of Gananoque Official Plan (2009).

Town of Gananoque Draft Official Plan Update (2024)

The Town of Gananoque is currently undertaking an update to the Official Plan (OP). A draft background report was prepared by J.L. Richards in 2021. The most recent public meeting regarding the update to the OP was held in March 2022, and a draft Official Plan ("draft OP") dated December 6, 2024, is available on the Town's website. The draft OP is reviewed in addition to the in-force-and-effect policies of the 2009 OP. It is worth noting that the draft OP does not include consideration for the PPS 2024, which came into effect on October 20, 2024.

Policy changes proposed through the draft OP are generally minor in relation to the proposed development, and do not impact the conformity of the proposed development with the draft OP as it currently exists. Key changes from

the in-effect OP include the introduction of policies that promote intensification through redevelopment and infill within the Town's developed areas (Section 2.3). Specifically, the draft OP supports the intensification of commercial lands to increase the number and diversity of employment options in the Town (Section 2.2.5). The draft OP supports an increase in the density and intensity of land use through compact form, and redevelopment or re-use of existing vacant or underutilized buildings and properties (Section 2.3.4). Notably, the draft OP provides the following criteria to evaluate applications for intensification and redevelopment (Section 2.3.5):

a) the suitability of the site in terms of size and shape of the lot, soil conditions, topography and drainage;

The property is suitable in size and shape for the proposed commercial use. The topography and drainage of the site is suitable to support the proposed building additions with no adverse impacts, as confirmed through the Stormwater Management Report.

b) impacts of the proposed development of surrounding natural features and areas and cultural heritage resources; and,

The proposed development is setback approximately 56 metres from the Gananoque River, protecting the natural feature from potential impacts. No cultural heritage resources are identified on or in proximity to the site.

c) the relationship between the proposed development and any natural or manmade hazards;

The existing commercial building and proposed two-storey building addition will be setback approximately 56 metres from the Gananoque River watercourse, avoiding natural or manmade hazards.

d) the provision of adequate ingress/egress, off street parking and loading facilities, and safe and convenient vehicular circulation;

The existing entrance from River Street will be maintained to support the proposed development, providing adequate ingress and egress for vehicular circulation. A total of 16 parking spaces will be provided on-site, including one barrier free parking space.

e) the impact of traffic generated by the proposed development on the road network and surrounding land uses;

No adverse impacts to the surrounding road network or adjacent land uses are anticipated as a result of the proposed development.

f) the availability of existing or planned, or potential to enhance, active transportation infrastructure; and

The site is located adjacent to the Gananoque Waterfront Trail, and sidewalks on the west side of River Street. The site is well served by existing active transportation infrastructure in the surrounding area.

g) the compatibility of the proposed development on existing and planned character.

The proposed sports and recreation establishment will adaptively reuse the existing commercial building on the property. The proposed building additions will complement the existing building on-site and will be compatible with the surrounding residential neighbourhood. Given the long-standing commercial use of the property, the proposed sports and recreation establishment on the site will not change the compatibility of the proposed development on the existing character of the area.

Draft OP policies relating to the General Commercial designation are similar to the policies of the in-effect OP. Draft OP commercial policies provide a more robust policy framework for mixed use commercial and residential development. The proposed development is not impacted by the proposed changes to the General Commercial policies in the draft OP.

Section 3.6 of the draft OP regulates natural heritage matters in the Town of Gananoque. Section 3.6.3 of the draft OP includes new policies relating to Highly Vulnerable Aquifers (HVAs) and Significant Groundwater Recharge

Areas (SGRAs) as identified in the Cataraqui Source Protection Plan. Portions of the site are in an area identified as an HVA and SGRA, which include the majority of lands in the Town. The proposed uses on the site will not pose any risk to groundwater. There will be no chemical handling or storage of any items listed in the Cataraqui Source Protection Plan.

Other policies of the draft OP that are relevant to the proposed development are water, wastewater, and stormwater policies support intensification on existing municipal services (Section 4.4.3). No upgrades to existing municipal service connections are required to service the proposed development.

It is our professional planning opinion that the proposed official plan amendment and class III development permit applications conform with the general intent of the applicable policies of the Town of Gananoque Draft Official Plan Update (2024).

Town of Gananoque Development Permit By-law 2010-75

The site is designated Residential with a small portion of Environmental Constraints on Schedule A of the Gananoque Development Permit By-law 2010-75. A class III development permit application is proposed to redesignate the site as a special exception Progressive Commercial (PC-XX) designation to permit the proposed commercial sports and recreation establishment and to establish appropriate performance standards for the site.

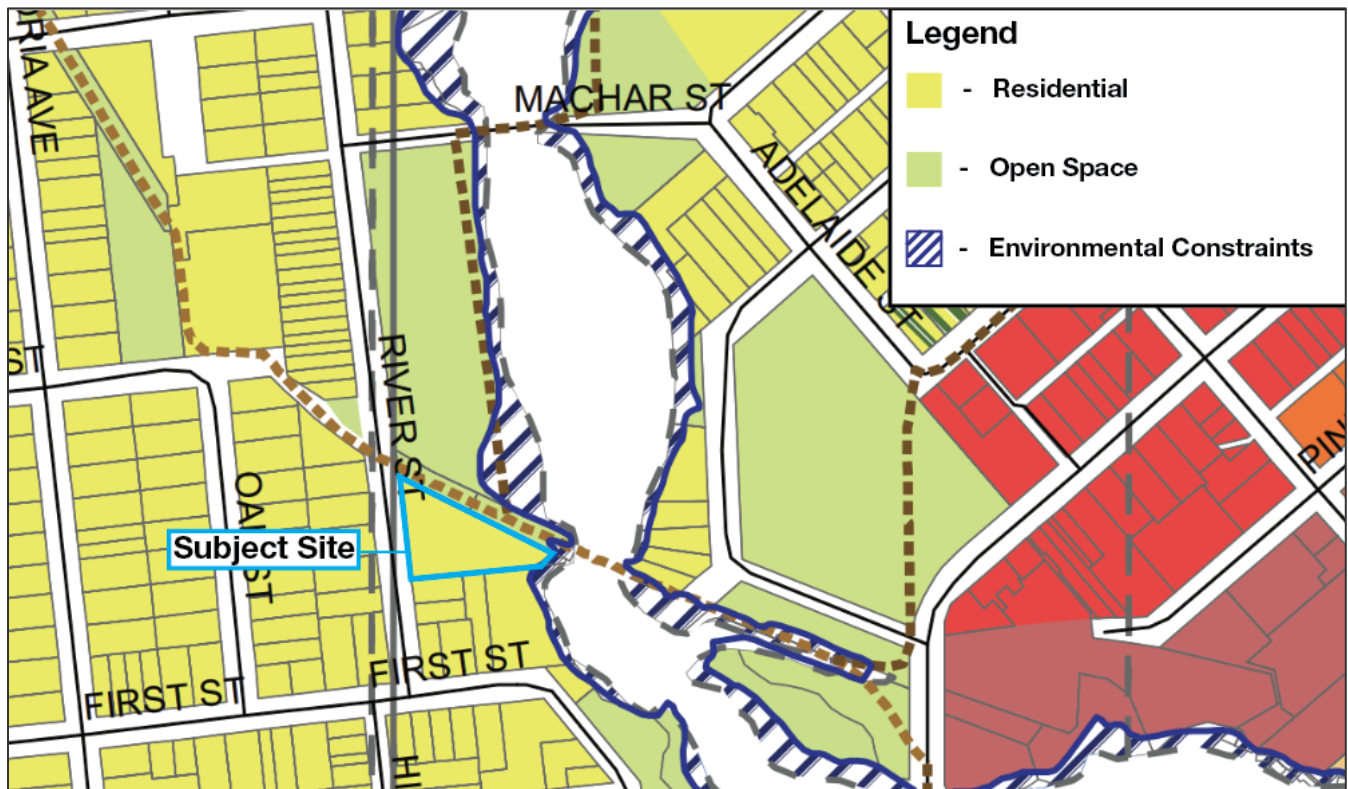


Figure 8: Schedule A, Development Permit By-law 2010-75 (Source: Town of Gananoque annotated by Fotenn)

The following table compares the proposed development against the as-of-right regulations of the Progressive Commercial designation. Where required amendments are identified, a brief rationale is provided following the table below.

Provision	Requirement	Proposed Development	Amendment Required?
Section 7 – Progressive Commercial District			
Permitted Uses	Various commercial uses, including: - Club Commercial - Commercial Sports and Recreation Establishment - Place of Recreation	Commercial Sports and Recreation Establishment	No
Lot Area (min)	464 m ²	2,640 m ²	No
Lot Coverage (max)	60%	24%	No
Lot Frontage (min)	15 m	55.9 m (River Street)	No
Front Yard Setback (min)	7.0 m	0 m (River Street), 50.9 m (Gananoque River)	Yes
Interior Side Yard (min)	1.2 m	0 m (North), 20.1 m (South)	Yes
Building Height (max)	12 m	9.6 m	No
Section 7.5 – Design Criteria, Progressive Commercial Designation			
General Design Criteria	Where a progressive commercial use is located adjacent to a residential use, a 3.0 metre landscaped buffer strip shall be provided	3 metre landscaped buffer provided along south lot line	No
	Where additions or improvements are proposed an effort will be made to improve the streetscape by the addition of landscape materials to a depth of 5.0 metres including street trees a minimum of 50 millimetres caliper, street furniture, lighting and sidewalks	No streetscape improvements proposed	No
	New development should blend in with existing elements of character, scale and design. New work should be complimentary in appearance to the original.	Proposed building additions to be complimentary to the original structure	No
	Garbage receptacles are to be enclosed by wood screen or planted hedge and are only permitted in the rear yard.	No changes to existing waste collection are proposed	No
	Buildings should be orientated towards the street.	Building oriented towards the street	No
	Parking should be provided in the rear or side of building	Parking provided to the rear and side of the building	No
	Buffers shall consist of plant material screens and structural elements that are designed to create a more natural looking landscape.	To comply	No

Provision	Requirement	Proposed Development	Amendment Required?
	50% of the landscaped area shall consist of natural plantings of grass, lawns, trees, shrubs and flowers.	No changes to existing landscaping proposed	No
	Street trees are to be provided wherever possible.	Tree planting proposed along north lot line	No
	All walkways and access pathways shall have regard and provide for accessibility wherever possible.	Complies	No
Section 3 – General Provisions			
Exterior Design (3.15)	Elements of exterior design are subject to the provisions outlined in Sections 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 and 14 of this By-Law. All proposals must include elevation drawings.	Design criteria of Section 7 has been considered Elevations drawings provided	No
Landscaped Open Space (3.24)	In Commercial designations any portion of any front yard which is not used for any other permitted use shall be exclusively devoted to landscaped open space.	Gravelled area is provided in front yard	Yes
Loading Requirements (3.26)	Lots located in a Commercial Designation which involves the frequent receiving, shipping, loading or unloading of goods, wares, merchandise or raw materials shall provide loading spaces	0 provided- Frequent shipping and receiving not required	No
Parking and Storage of Vehicles (3.32)	Parking to be provided within a garage, carport, driveway, designated parking area or on a street	Parking area provided	No
	Standard Parking Space Dimension (min): 3 m (w) x 6 m (l)	3 m x 6 m	No
	Barrier-free parking space dimension (min): 3 m (w) x 6 m (l) 1.5 metre aisle in between each barrier free space	3 m x 6 m with a 1.5 m access aisle	No
	When a building or structure has, at the time of the passing of this By-law, insufficient parking to comply with the requirements herein, this By-law shall not be interpreted to require that the deficiency be made up prior to the construction of any addition, change of use, or replacement in whole or in part, of any such building or structure. However, no addition, change of use or replacement may occur, the effect of which would be an increase in that deficiency.	16 parking spaces to be provided. Proposed development does not increase existing parking deficiency.	No

Provision	Requirement	Proposed Development	Amendment Required?
	Parking area shall be constructed of asphalt paving, concrete, paver stones, or similar materials, and shall incorporate drainage facilities	Gravel parking area provided; drainage facilities proposed	No
	Ingress and egress directly to and from every parking space shall be by means of a driveway, lane or aisle having a width of at least 6.0 m for two-way traffic and 3.5 m for one-way traffic	+/- 11m wide aisle provided	No
	Minimum number of required spaces: 1 space / 30 m ² of gross floor area (= 21 spaces required)	16 spaces provided	No – per compliance with Section 3.32
	Barrier free parking: One barrier free space shall be provided for every 20 standard parking spaces (=1 space required)	1 space provided	No
Setbacks from a Watercourse (3.41)	A setback of 30 metres (98.4 feet) is required from a watercourse for all development	+/- 56m setback provided	No
Site Alteration or vegetation Removal (3.42)	All development proposed on lands with frontage on a watercourse are required to submit a landscape plan that identifies vegetation within 30 metres (98.4 feet) of the watercourse.	Landscaping information provided on site plan	No
	All shorelines are to provide for naturalized environments with the exception of the accessory structures as permitted herein.	No changes proposed to shoreline	No
	The removal of vegetation is limited to 25% of the total waterfrontage to a maximum of 15 metres	No waterfront vegetation to be removed	No
Water and Sewage Disposal Systems (3.49)	Future development shall proceed on the basis of municipal water and sewers and storm drainage except as otherwise indicated herein.	Proposed development to occur on full municipal services	No
Section 13 – Waterfront Overlay			
Design Criteria (13.4)	<p>Significant vegetation shall be preserved and incorporated into the landscaping. For the purposes of this section significant shall mean the following:</p> <p>Trees with minimum 60 millimetre diameter or trees of 3.5 metres or more in height and</p> <p>Groups or stands of ten or more trees with a minimum diameter of 15 centimetres measured 1.4 metres from the base of the tree.</p>	To comply, no vegetation to be removed.	No

Provision	Requirement	Proposed Development	Amendment Required?
	Any development shall be configured to facilitate and or accommodate waterfront uses and to preserve or enhance the natural viewscales from land and from the water.	Complies	No
	Provide for exterior waterside walkway on all new commercial and multi-residential development	None provided— Adjacent to waterfront trail	No

Minimum Front Yard Setback

An amendment is required to permit a 0-metre front yard setback for the existing building. The required front yard setback for the Progressive Commercial Designation is 7.0 metres. The existing front yard setback of the building from River Street is 0-metres. The proposed amendment seeks to recognize the location of the existing building on the site and allow an addition to the front of the building to establish a new entrance. The proposed amendment is technical in nature and will allow the continued location of the building on the site.

Minimum Interior Side Yard Setback

An amendment is required to permit a 0-metre interior side yard setback for the existing building. The required interior side yard setback for the Progressive Commercial designation is 1.2 metres. The existing interior side yard setback of the building from the north lot line is 0-metres. The proposed amendment seeks to recognize the location of the existing building on the site and allow an addition to the rear of the building. The proposed amendment is technical in nature and will allow the continued location of the building on the site.

Landscaped Open Space

An amendment is required to permit a portion of the front yard, not used for a permitted use, to not be devoted to landscape open space. Based on the Development Permit By-Law definition of front lot line, the subject property has two front lot lines, which are River Street and the east lot line along the Gananoque River. Section 3.24 the Development Permit By-law law requires that within commercial designations, any portion of any front yard which is not used for any other permitted use shall be exclusively devoted to landscaped open space. The majority of the property that is not occupied by the existing commercial building is currently gravelled, including the front yard along River Street not occupied by the commercial building and the front yard in proximity to the Gananoque River. An amendment is proposed to allow the portions of the front yard not occupied by the permitted use to be gravelled, rather than be occupied by landscape open space. The proposed amendment seeks only to recognize the existing condition of the site, rather than permit an expansion to any existing gravelled or non-landscaped areas on the site. As no vegetation currently exists in this area, no vegetation is required to be removed. The Stormwater Management Report prepared for the site confirms that through the implementation of recommended stormwater management measures, including the installation of a French drain in the eastern portion of the site, stormwater flows will be maintained to pre-development levels following the proposed redevelopment. The proposed amendment to permit a reduction to landscaped open space in the front yard will recognize the existing gravelled condition on the site, and is not anticipated to pose any adverse effects to stormwater runoff on the site, as confirmed by the Stormwater Management Report. As the front yard extending to the Gananoque River is located to the rear of the existing commercial building, impacts to neighbourhood character are not anticipated. It is also noted that the property line abutting the Gananoque River is located inland and does not extend to the river's shoreline. Additionally, a 3-metre wide landscape strip is proposed to be incorporated along the south lot line, which will result in a net increase of landscape open space on the site.

Conclusion

The applicant is pursuing an amendment to the official plan and a class III development permit application to allow the adaptive reuse of the existing commercial building for a commercial sports and recreation establishment. Additions are proposed to the existing building to support the intended commercial use. An official plan amendment is proposed to redesignate the site from the Residential designation to the General Commercial designation in the Town of Gananoque Official Plan. A class III development permit is proposed to redesignate the site to a special exception Progressive Commercial designation and to recognize existing site conditions including the front yard setback, the interior side yard setback, and limited front yard landscape open space. The proposed development will contribute positively to the overall vitality of the community through the relocation of Gan Fitness, an established local business in the community, in a manner that is compatible with the surrounding neighbourhood.

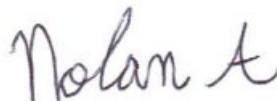
The proposal is consistent with the Provincial Planning Statement, conforms to the Town of Gananoque Official Plan, and maintains the general intent of Development Permit By-law 2010-75. It is our professional opinion that this official plan amendment and Class III Development Permit applications represent good land use planning.

Should you have any questions or comments, please do not hesitate to contact the undersigned at 613.542.5454.

Respectfully submitted,



Kelsey Jones, MCIP RPP
Senior Planner
Fotenn Planning + Design



Nolan Atterbury, BURPI
Planner
Fotenn Planning + Design

APPENDIX A

PROPOSED OFFICIAL PLAN AMENDMENT

22

The proposed Official Plan Amendment to the Town of Gananoque's Official Plan will read:

The Council of the Corporation of the Town of Gananoque in accordance with provisions of the Planning Act (R.S.O. 1990, c.P.13) hereby enacts as follows:

1. Amendment Number X to the Official Plan for the Town of Gananoque consisting of the attached explanatory text and Schedules are hereby adapted.
2. This by-law shall come into force and take effect on the day after the last day for filing a notice of appeal provided no notice of appeal is filed in accordance with the provisions of Sections 17 and 22 of the Planning Act.

Read a first and second time and finally passed this XX day of XX, 2025

John Beddows, Mayor

Penny Kelly, Clerk

APPENDIX A

PROPOSED OFFICIAL PLAN AMENDMENT

23

1. TITLE

The following constitutes Amendment Number xx to the Official Plan of the Town of Gananoque.

2. PURPOSE OF THE AMENDMENT

The purpose of this amendment is to redesignate the subject lands to the General Commercial designation in order to permit a commercial sports and recreation establishment on the subject property.

3. LOCATION OF THE LANDS AFFECTED

The property is municipally known as 145 River Street, and is described as Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville.

4. BASIS OF THE AMENDMENT

An Official Plan Amendment application (XXXX) was received from Bethanie Matthews for the redesignation of the subject lands, to the General Commercial designation to establish a commercial sports and recreation establishment. The amendment will permit the adaptive reuse of the existing commercial building on the subject lands and will contribute positively to the overall vitality of the community through the relocation of Gan Fitness, an established local fitness club.

5. DETAILS OF THE AMENDMENT

The Official Plan to the Town of Gananoque is hereby modified as follows:

- i) **THAT** Schedule 'A' to the Official Plan for the Town of Gananoque is hereby amended by redesignating the lands identified on Schedule A from Residential to General Commercial attached hereto and forming part of this Amendment.

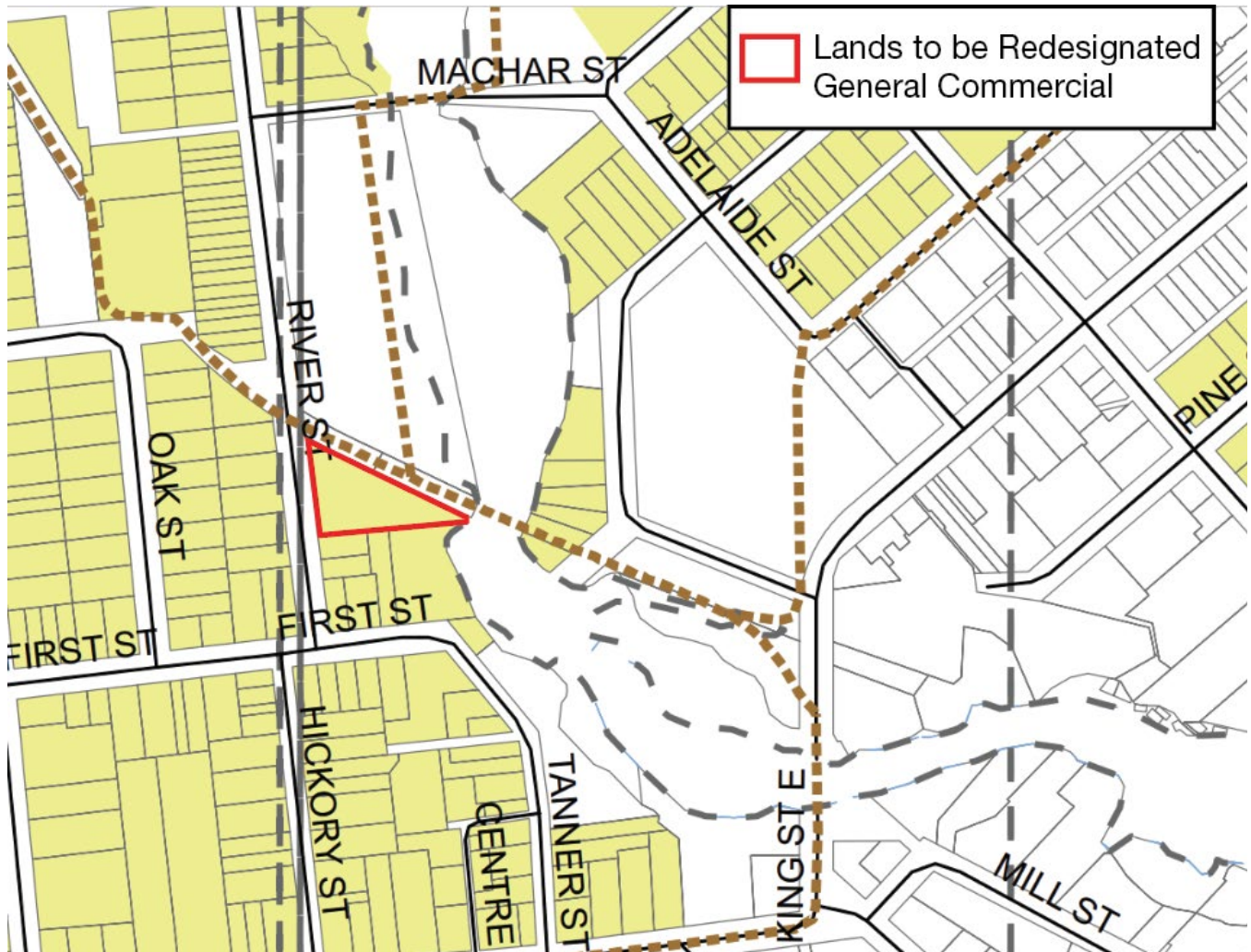
6. IMPLEMENTATION AND INTERPRETATION

The changes to the Official Plan described in this Amendment shall be implemented and interpreted in accordance with the implementation policies of the Official Plan described in Chapter 6 thereof.

APPENDIX A PROPOSED OFFICIAL PLAN AMENDMENT

24

Schedule A



PROPOSED DEVELOPMENT PERMIT BY-LAW AMENDMENT

THE CORPORATION OF THE TOWN OF GANANOQUE EXPLANATORY NOTE TO BY-LAW NUMBER XXX-XXXX

BY-LAW NO. XXX-XXXX

BEING A DEVELOPMENT PERMIT BY-LAW AMENDMENT

TO BY-LAW NO. 2010-75

The property is municipally known as 145 River Street, and is described as Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville.

**THE CORPORATION OF THE TOWN OF GANANOQUE
EXPLANATORY NOTE
TO BY-LAW NUMBER XXX-XXXX**

PURPOSE OF THE DEVELOPMENT PERMIT BY-LAW AMENDMENT

The purpose of the amendment is to establish a site-specific Progressive Commercial (PC-XX) designation for the site, to permit site-specific performance standards within the site-specific Progressive Commercial designation.

The subject lands are currently designated Residential in the Town of Gananoque Official Plan. An application to amend the Official Plan was received concurrently which seeks to amend the Official Plan to redesignate the site to the General Commercial Designation to permit the proposed commercial uses.

EFFECT OF THE BY-LAW REQUEST

The amendment will permit the adaptive reuse and expansion of the existing commercial building on the site and the establishment of a commercial sports and recreation establishment within the commercial building. The amendment will have the effect of permitting a reduced front yard setback, a reduced interior side yard setback, and reducing required front yard landscape open space. The proposed development will support the health and well-being of local residents and visitors by providing commercial grade fitness equipment and a variety of recreational opportunities, including group fitness classes and personal programming, an indoor recreational area for various sports uses, and e-bike and kayak rentals.

LOCATION OF THE PROPERTY

The property is municipally known as 145 River Street, and is described as Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville.

APPENDIX B

PROPOSED DEVELOPMENT PERMIT BY-LAW AMENDMENT

26

THE CORORATION OF THE TOWN OF GANANOQUE BY-LAW NUMBER #####

BEING A BY-LAW TO AMEND DEVELOPMENT PERMIT BY-LAW 2010-75

WHEREAS the Council of the Corporation of the Town of Gananoque received a request to amend Development Permit By-law 2010-75 to permit the development commercial development approved to date;

AND WHEREAS the proposed change in zoning conforms to the Official Plan designation, as revised by Official Plan Amendment No. XX considered in conjunction with this by-law;

NOW THEREFORE the Council of the Corporation of the Town of Gananoque enacts as follows:

1. **THAT**, Schedule 'C' of Development Permit By-law 2010-75 is hereby amended by adding a Progressive Commercial Exception (PC-XX) designation for the lands identified on Schedule A attached hereto and forming part of this By-law.
2. **THAT**, Section 7.6 Special Exceptions is hereby amended by the addition of the following new subsection following PC-XX.

Progressive Commercial Exception XXXX (PC – XX)

(Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville)

Notwithstanding any provisions of this By-law to the contrary for the lands designated PC-XX on Schedule C, following shall apply:

- (a) Front Yard (minimum) 0 m
 - (b) Interior Side Yard (minimum) 0 m
 - (c) Any portion of the front yard not occupied by a permitted use is not required to be devoted to landscaped open space.
3. **THIS** By-law shall come into force and take effect on the day of its passing, subject to:
 - The provisions of subsections 34(30) and (31) of the Planning Act, R.S.O. 1990, C.P.13., as amended, in the event a notice of appeal of this by-law is filed in accordance with subsection 34(19) of the Act; and
 - Not until Official Plan Amendment No. X of the Town of Gananoque Official Plan has come into effect.

Read a first and second time and finally passed this XX day of XXX, 2025

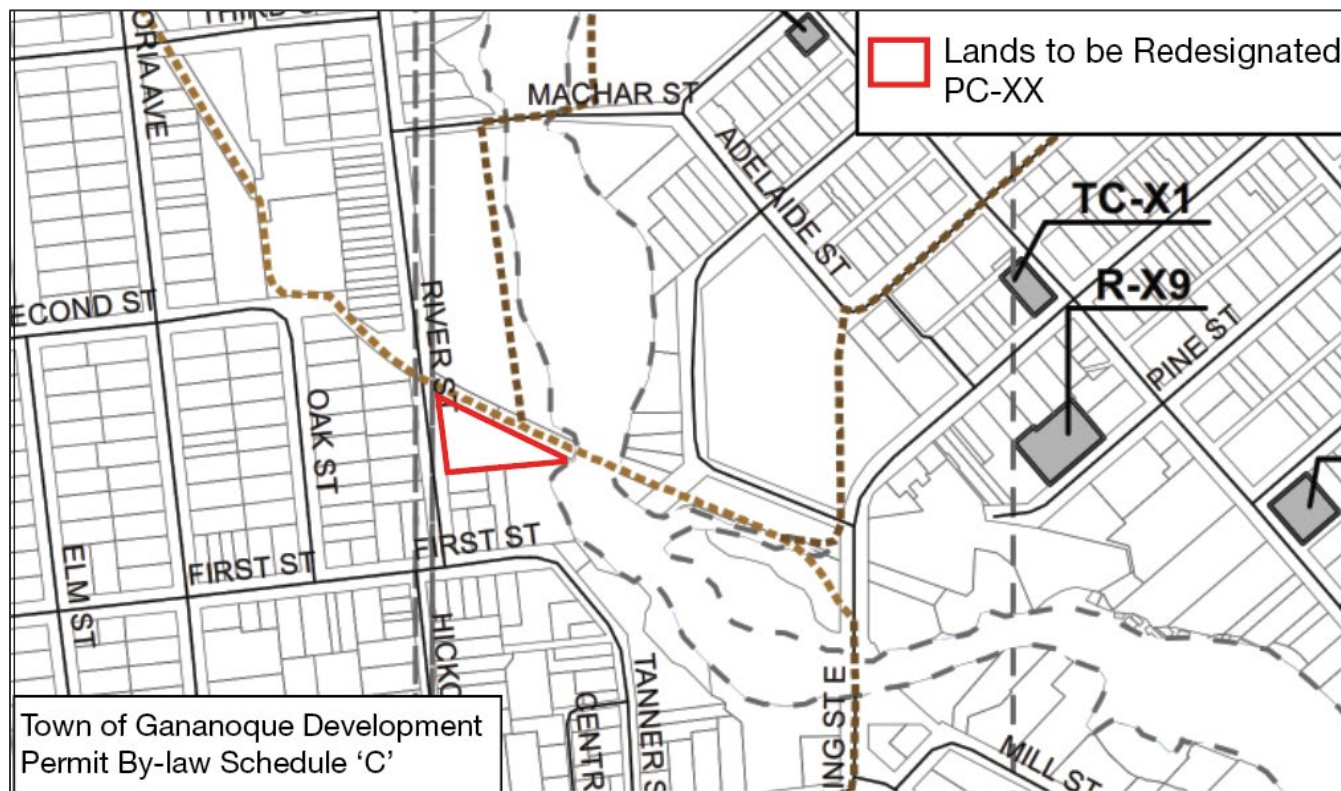
John Beddows, Mayor

Penny Kelly, Clerk

APPENDIX B PROPOSED DEVELOPMENT PERMIT BY-LAW AMENDMENT

27

Schedule A



PLANNING ADDENDUM MEMO

145 RIVER STREET, GANANOQUE

1

July 11, 2025

Brenda Guy

Manager of Planning and Development
Town of Gananoque

**RE: 145 River Street, Gananoque
Planning Addendum Memo
Official Plan Amendment and Class III Development Permit**

Fotenn Planning + Design is pleased to submit this addendum letter and supporting documentation on behalf of the applicant, Bethanie Matthews, to supplement the Planning Justification Letter prepared by Fotenn Planning + Design, dated May 29, 2025. This addendum letter provides additional detail and information in response to comments and requests made by Ms. Guy, and summarizes updates made to the concept plan in response to these comments.

Overview of Business and Proposed Location

Gan Fitness is an established local business, operating as the sole locally owned gym in Gananoque. Gan Fitness has supported the mental and physical health of community members for the past 12 years and seeks to continue doing so at the proposed location at 145 River Street. Gan Fitness is seeking to relocate their business to 145 River Street to expand their services in a more central location. The site is optimally located to promote walkability and accessibility for a wider range of users, which will ultimately help keep membership fees low for the community. Beyond the proposed fitness facility and exercise classes offered by Gan Fitness, the proposed commercial sports and recreation establishment will also support a range of new recreational services not currently present in the community, including e-bike, kayak, and stand-up paddleboard (SUP) rentals, and various sports including basketball, volleyball, and pickleball, among other uses in the proposed gymnasium addition. Gan Fitness operates between the hours of 5 am - 9:30 pm daily, with typically no more than 15 users in the gym at once, and typically no more than 100 users in a single day. The central location will promote more users to walk, rather than drive, to the new facility. As an established commercial site, the proposed location at 145 River Street is well suited to support the relocation of Gan Fitness.

Site Plan Changes

In response to the comments received, the following changes have been made to the concept plan:

- / The number of on-site parking spaces has been increased from 16 to 21, including two barrier free parking spaces which will be located east of the proposed building addition.
- / Additional landscaping has been proposed along the River Street frontage of the property and along the north property line adjacent to the Waterfront Trail to ensure an attractive streetscape for the surrounding neighbourhood.
- / On-site tree planting is proposed along the River Street frontage as well as adjacent to the Waterfront Trail. Six 50 mm caliper maple trees are proposed, including two along the River Street frontage and four along the north property line in proximity to the Waterfront Trail.
- / A concrete pedestrian walkway is proposed along the south side of the building providing a separated path of travel from the accessible parking spaces and rear of the building to the main entrance for site users.

Proposed Applications

The following provides additional detail related to the proposed Official Plan Amendment and Class III Development Permit applications. Update official plan and development permit by-law text is provided in Appendices A and B to this memorandum.

Official Plan Amendment

Based on the comments received, the official plan amendment proposed has been revised to redesignate the site from Residential to General Commercial and establish a special policy area to limit the use of the site to a commercial sports and recreation establishment only. As revised, the proposed special policy area would require any future change in use to be subject to subsequent *Planning Act* applications.

The current Residential designation provides a limited list of supported non-residential uses, and it is our opinion the proposed commercial sports and recreation establishment does not fall into the list of local commercial uses supported in the Residential designation. As a result, it was determined that redesignating the site to the General Commercial designation was appropriate to ensure aspects such as site layout, parking, streetscape design, pedestrian movement, pedestrian friendly environments, building design and gateway features were considered through the proposed development.

Section 3.3.1 of the Official Plan (OP) states that the goal of Commercial designations is to provide a supportive land use policy framework which reduces constraints for commercial development while ensuring that commercial uses will contribute to Gananoque's small town character. Commercial policies in the OP are intended to support a diverse range of commercial uses to meet the needs of the community and reduce the need for residents to travel elsewhere. Commercial policies are also intended to accommodate a variety of commercial formats, ranging from pedestrian oriented stores to highway commercial uses. As well, the OP policies encourage the maintenance and improvement of existing commercial buildings within the Town. As outlined in Section 3.3.2.1.1 of the OP, the General Commercial Policy Area specifically permits retail and service commercial development intended to serve the needs of local residents and visitors and includes a wide range of small scale uses including personal service establishments. Section 3.3.2.1.2 provides policies to guide new general commercial development, including direction for adequate off-street parking, access to parking, pedestrian access and movement, and locating parking to foster pedestrian friendly environments.

The proposed development is well suited to the General Commercial designation as it will support the relocation of Gan Fitness, an established locally-owned and operated business, to a central location which promotes the health and well being of users and reduces the need for residents to travel out of town to meet their recreational needs. The proposed development will support the maintenance and improvement of an existing underutilized, pedestrian oriented commercial building on the site by permitting a new commercial use. The proposed commercial sports and recreation establishment represents a small-scale use that is sensitive to the surrounding residential neighbourhood which will provide personal services including fitness facilities, exercise classes, a sports gymnasium, and a range of complimentary recreational uses. The site is located in proximity to the Town's core, and is oriented towards River Street, which will promote a pedestrian friendly environment for local users in line with the requirements for General Commercial development. The site will meet the functional and accessibility needs of users by providing off-street parking spaces, including two barrier free parking spaces to the rear and side of the building. The proposed commercial use is suitable in scale for the area and meets the intent of the General Commercial designation. The proposed official plan amendment will ensure that the proposed commercial sports and recreation establishment is permitted in an appropriate designation and restricts the permitted use to only a commercial sports and recreation establishment. Additionally, the proposed official plan amendment will ensure the subject site is located in an appropriate land use designation which aligns with the proposed Development Permit By-law designation.

Class III Development Permit

It is proposed to redesignate the site from Residential to a Special Exception Progressive Commercial (PC-XX) designation to permit a commercial sports and recreation establishment. As a result of the comments provided, the proposed special exception seeks to permit the proposed commercial sports and recreation establishment while prohibiting all other uses permitted by the Progressive Commercial designation on the site. The proposed special exception will ensure that any future change in use will require subsequent *Planning Act* applications.

The Progressive Commercial designation is generally intended for commercial uses that link the Traditional Commercial Core with the Gateway Commercial designation, supporting both traditional and modern built forms that integrate landscaping and local character. The intent of the Progressive Commercial designation is to permit a wide range of commercial uses that do not comprise the historical built form of the commercial core, nor represent development which requires larger lot areas designed to serve the traveling public. The proposed development meets the intent and purpose of the Progressive Commercial designation, as it supports the establishment of a commercial sports and recreation establishment through adaptive reuse within an existing commercial building, while enhancing on-site landscaping and the streetscape to align with the established neighbourhood character.

The proposed commercial sports and recreation establishment will be appropriately regulated by the Progressive Commercial designation as the designation provides detailed design criteria specific to commercial development that considers streetscape improvements, landscaping requirements, and compatibility for commercial uses adjacent to residential uses. The proposed commercial development complies with the Progressive Commercial design criteria by providing enhanced buffers and landscaping along River Street and the north property line adjacent to the Waterfront Trail, incorporating new street and on-site tree plantings, incorporating a pedestrian walkway along the south side of the building to connect the main entrance to the accessible parking spaces and rear of the building, and establishing a landscaped strip along the south property line abutting the residential unit to ensure appropriate buffering and separation are provided from on-site parking to adjacent residences. The proposed development appropriately incorporates design criteria as required by the Progressive Commercial designation. The proposed Class III Development Permit By-law amendment will ensure the development is regulated by appropriate design criteria, the use of the site is limited to the commercial sports and recreation establishment as proposed, and that any future change in use will require subsequent *Planning Act* applications.

As a result of the applications for Official Plan Amendment and Class III Development Permit, the proposed commercial sports and recreation facility will be designated and regulated appropriately to facilitate the relocation of an established local business in a manner compatible with the surrounding residential neighbourhood.

We trust that this addresses the comments provided. Please contact 613.542.5454 x 326 if you have any further questions or comments.

Respectfully,



Kelsey Jones, MCIP RPP
Senior Planner
Fotenn Planning + Design



Nolan Atterbury, BURPI
Planner
Fotenn Planning + Design

APPENDIX A

PROPOSED OFFICIAL PLAN AMENDMENT

4

The proposed Official Plan Amendment to the Town of Gananoque's Official Plan will read:

The Council of the Corporation of the Town of Gananoque in accordance with provisions of the Planning Act (R.S.O. 1990, c.P.13) hereby enacts as follows:

1. Amendment Number X to the Official Plan for the Town of Gananoque consisting of the attached explanatory text and Schedules are hereby adapted.
2. This by-law shall come into force and take effect on the day after the last day for filing a notice of appeal provided no notice of appeal is filed in accordance with the provisions of Sections 17 and 22 of the Planning Act.

Read a first and second time and finally passed this XX day of XX, 2025

John Beddows, Mayor

Penny Kelly, Clerk

APPENDIX A

PROPOSED OFFICIAL PLAN AMENDMENT

5

1. TITLE

The following constitutes Amendment Number XX to the Official Plan of the Town of Gananoque.

2. PURPOSE OF THE AMENDMENT

The purpose of this amendment is to redesignate the subject lands to the General Commercial designation and establish Special Policy Area X to permit a commercial sports and recreation establishment on the subject property and prohibit all other uses permitted in the General Commercial designation.

3. LOCATION OF THE LANDS AFFECTED

The property is municipally known as 145 River Street, and is described as Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville.

4. BASIS OF THE AMENDMENT

An Official Plan Amendment application (XXXX) was received from Bethanie Matthews to redesignate the subject lands to the General Commercial designation and establish a Special Policy Area X to permit a commercial sports and recreation establishment and prohibit all other uses of the General Commercial designation on the subject lands. The amendment will permit the adaptive reuse of the existing commercial building on the subject lands and will contribute positively to the overall vitality of the community through the relocation of Gan Fitness, an established local fitness club. The amendment will also prohibit all other uses on the subject lands to ensure that any future change in use will require subsequent Planning Act applications.

5. DETAILS OF THE AMENDMENT

The Official Plan to the Town of Gananoque is hereby modified as follows:

- i) **THAT** Schedule 'A' to the Official Plan for the Town of Gananoque is hereby amended by redesignating the lands identified on Schedule A, attached hereto and forming part of this Amendment, from Residential to General Commercial.
- ii) **THAT** Section 3.3.2.1.X of the Official Plan is amended to add the following section:

"3.3.2.1.X General Commercial Special Policy Area X – 145 River Street

On the lands designated 'General Commercial – Special Policy Area X', the only permitted use shall be a commercial sports and recreation facility, which is defined as an athletic, recreational, or social club operated for gain or profit or for the private use of members."

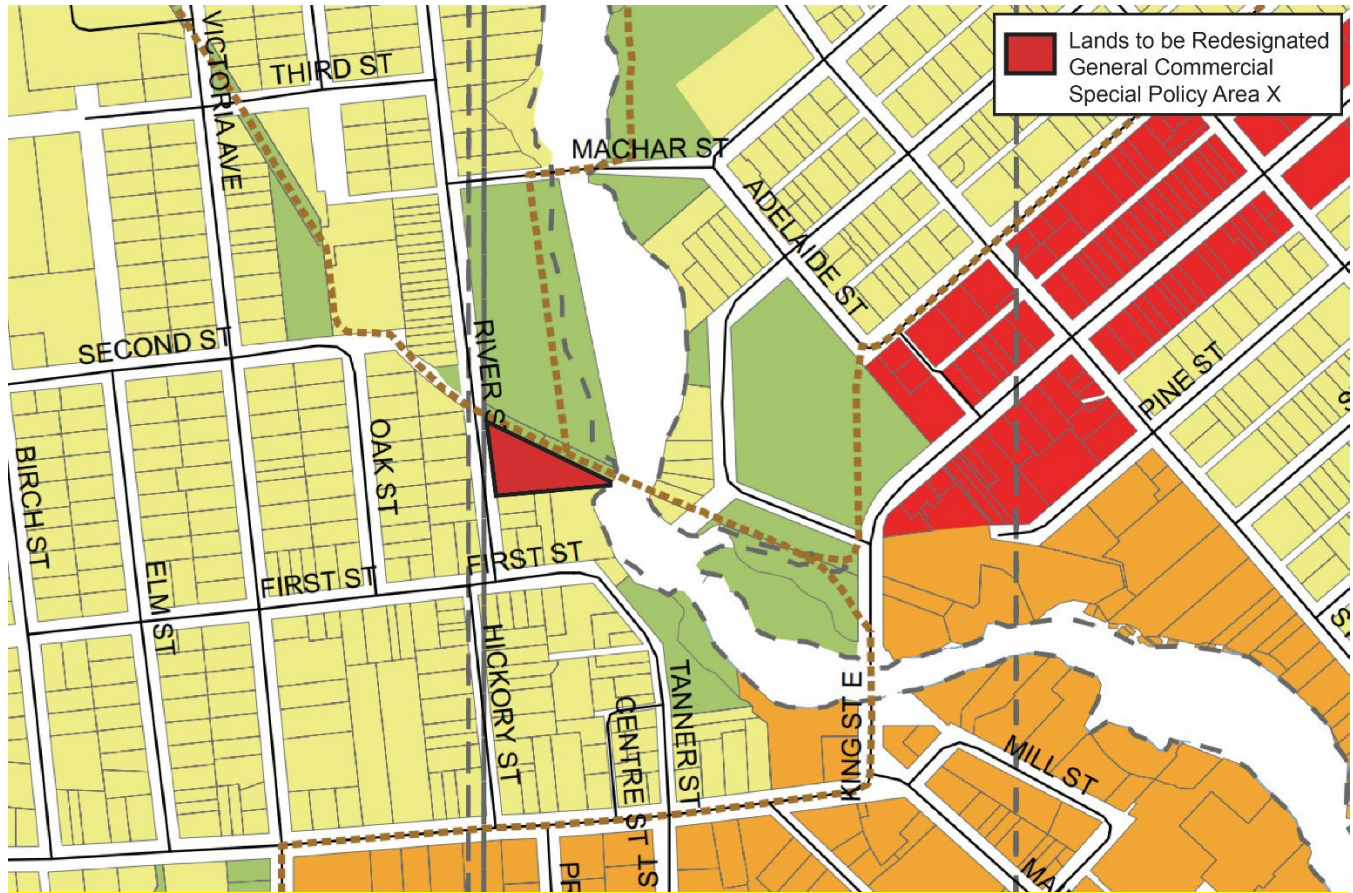
6. IMPLEMENTATION AND INTERPRETATION

The changes to the Official Plan described in this Amendment shall be implemented and interpreted in accordance with the implementation policies of the Official Plan described in Chapter 6 thereof.

APPENDIX A PROPOSED OFFICIAL PLAN AMENDMENT

6

Schedule A



APPENDIX B

PROPOSED DEVELOPMENT PERMIT BY-LAW AMENDMENT

7

THE CORPORATION OF THE TOWN OF GANANOQUE EXPLANATORY NOTE TO BY-LAW NUMBER XXX-XXXX

BY-LAW NO. XXX-XXXX

BEING A DEVELOPMENT PERMIT BY-LAW AMENDMENT

TO BY-LAW NO. 2010-75

The property is municipally known as 145 River Street, and is described as Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville.

THE CORPORATION OF THE TOWN OF GANANOQUE
EXPLANATORY NOTE
TO BY-LAW NUMBER XXX-XXXX

PURPOSE OF THE DEVELOPMENT PERMIT BY-LAW AMENDMENT

The purpose of the amendment is to establish a site-specific Progressive Commercial (PC-XX) designation for the site, to permit site-specific performance standards within the site-specific Progressive Commercial designation.

The subject lands are currently designated Residential in the Town of Gananoque Official Plan. An application to amend the Official Plan was received concurrently which seeks to amend the Official Plan to redesignate the site to General Commercial Special Policy Area designation to permit the proposed commercial uses, and prohibit all other uses otherwise permitted in the General Commercial designation.

EFFECT OF THE BY-LAW REQUEST

The amendment will permit the adaptive reuse and expansion of the existing commercial building on the site and the establishment of a commercial sports and recreation establishment within the commercial building. The amendment will have the effect of permitting a reduced front yard setback, a reduced interior side yard setback, a reduced front yard landscape open space requirement, and prohibiting all other uses permitted in the Progressive Commercial designation. The proposed development will support the health and well-being of local residents and visitors by providing commercial grade fitness equipment and a variety of recreational opportunities, including group fitness classes and personal programming, an indoor recreational area for various sports uses, and e-bike and kayak rentals.

LOCATION OF THE PROPERTY

The property is municipally known as 145 River Street, and is described as Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville.

APPENDIX B PROPOSED DEVELOPMENT PERMIT BY-LAW AMENDMENT

8

THE CORORATION OF THE TOWN OF GANANOQUE BY-LAW NUMBER #####

BEING A BY-LAW TO AMEND DEVELOPMENT PERMIT BY-LAW 2010-75

WHEREAS the Council of the Corporation of the Town of Gananoque received a request to amend Development Permit By-law 2010-75 to permit the commercial development approved to date;

AND WHEREAS the proposed change in zoning conforms to the Official Plan designation, as revised by Official Plan Amendment No. XX considered in conjunction with this by-law;

NOW THEREFORE the Council of the Corporation of the Town of Gananoque enacts as follows:

1. **THAT**, Schedule 'A' of the Development Permit By-law 2021-75 is hereby amended by changing the designation of the lands identified on Schedule A attached hereto and forming part of this By-law from Residential to Progressive Commercial
2. **THAT**, Schedule 'C' of Development Permit By-law 2010-75 is hereby amended by adding a Progressive Commercial Exception (PC-XX) designation for the lands identified on Schedule B attached hereto and forming part of this By-law.
3. **THAT**, Section 7.6 Special Exceptions is hereby amended by adding the following new subsection PC-XX:

Progressive Commercial Exception XXXX (PC – XX)

(Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville)

Notwithstanding any provisions of this By-law to the contrary for the lands designated PC-XX on Schedule C, the following shall apply:

- (a) The only permitted use shall be a commercial sports and recreation establishment.
 - (b) Front Yard (minimum) 0 m
 - (c) Interior Side Yard (minimum) 0 m
 - (d) Any portion of the front yard not occupied by a permitted use is not required to be devoted to landscaped open space.
4. **THIS** By-law shall come into force and take effect on the day of its passing, subject to:
 - The provisions of subsections 34(30) and (31) of the Planning Act, R.S.O. 1990, C.P.13., as amended, in the event a notice of appeal of this by-law is filed in accordance with subsection 34(19) of the Act; and
 - Not until Official Plan Amendment No. X of the Town of Gananoque Official Plan has come into effect.

Read a first and second time and finally passed this XX day of XXX, 2025

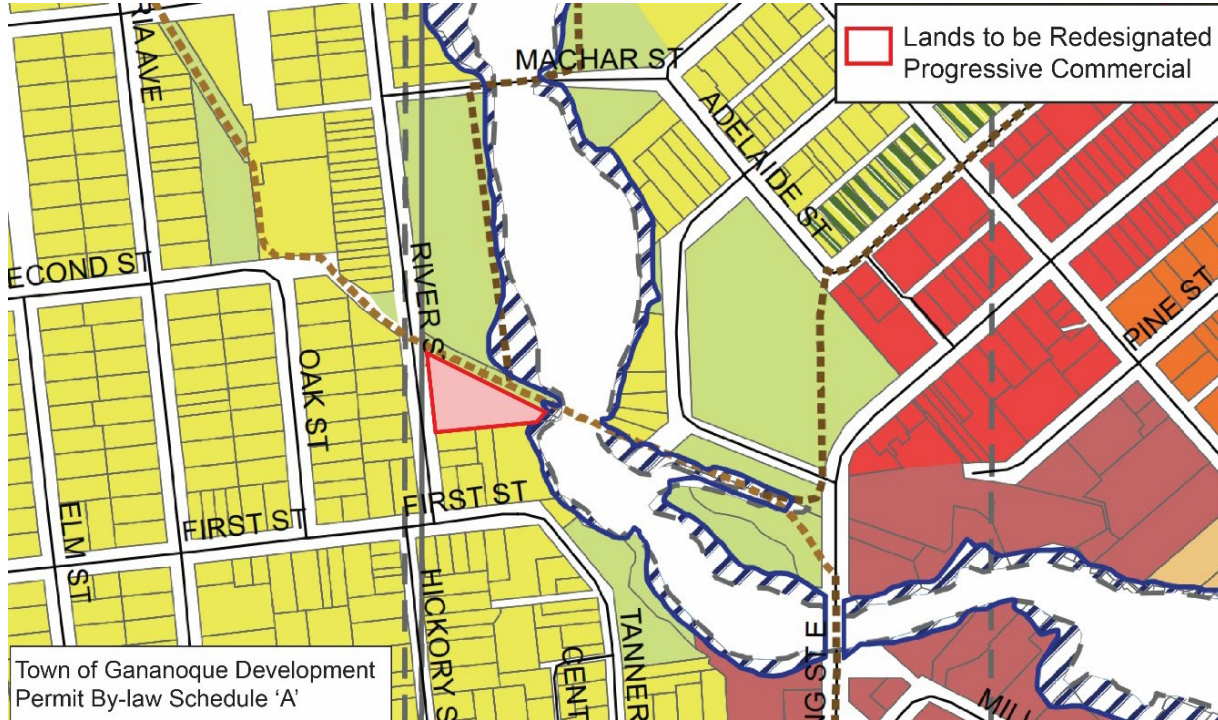
John Beddows, Mayor

Penny Kelly, Clerk

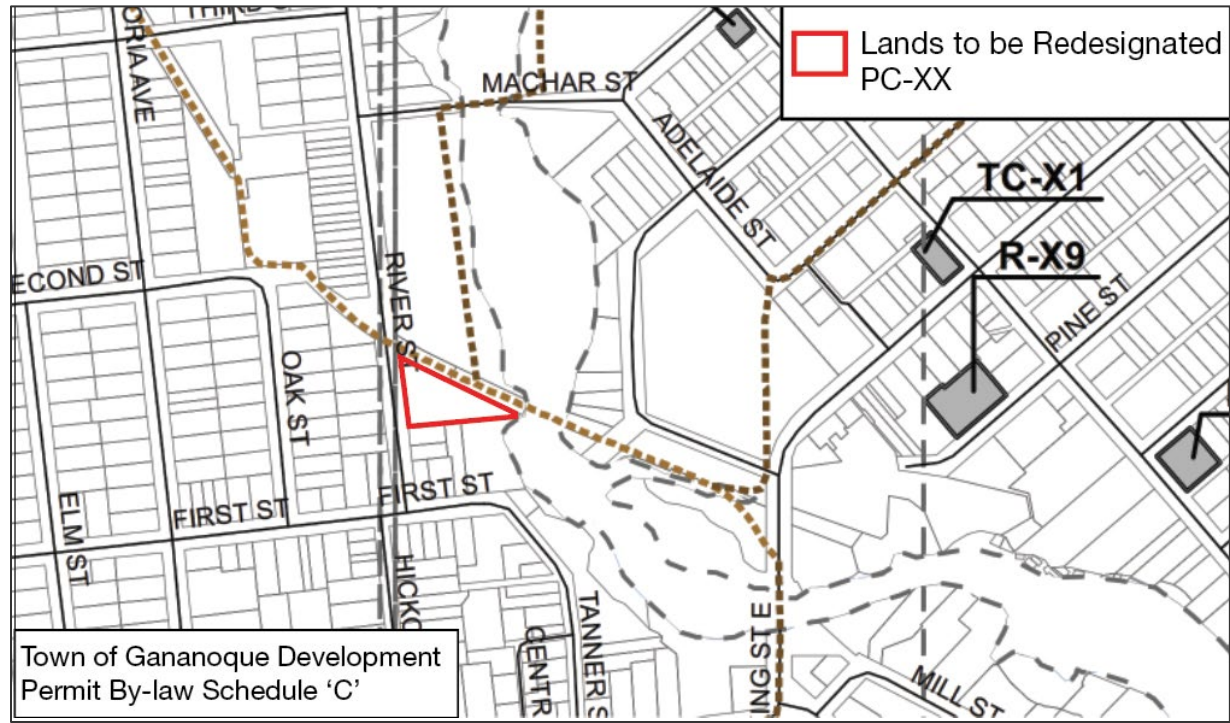
APPENDIX B PROPOSED DEVELOPMENT PERMIT BY-LAW AMENDMENT

9

Schedule A



Schedule B



**GAN FITNESS
145 RIVER STREET
GANANOQUE, ON**

STORMWATER MANAGEMENT REPORT



**EASTERN ENGINEERING GROUP INC.
APEX BUILDING
100 STROWGER BLVD, SUITE 207
BROCKVILLE, ON
K6V 5J9**

MARCH 2025

REVISION RECORD					
REV	DESCRIPTION	PREPARED BY			
0					
1					
2					
3					

1.0 PROJECT BACKGROUND

The project involves a new addition to the existing building at 145 River Street and revision to the site with additional gravel parking area. The building expansion is 210 m² at the rear of the building and a new entry addition of 31 m². The gravel parking area increased is 1278 m².

The report is a summary of data, calculations, design and support documentation required for the stormwater management of the site.

2.0 LOCATION

The property is located at current 145 River Street, Gananoque.

3.0 SERVICING

The existing building is serviced via municipal sanitary and water from the adjacent streets. There will be no increase or change in servicing for the building. The existing water is a 150mm dia service to the property for fire protection.

The existing sanitary location could not be confirmed but there is an existing service to the building draining by gravity to the Town infrastructure.

4.0 DRINKING WATER SOURCE PROTECTION

As per Cataraqui Region Conservation Authority, portions of the site are in an area identified as a significant groundwater recharge area (SGRA) and Highly Vulnerable Aquifer (HVA). As mandated by the Clean Water Act (2006), the Source Protection Plan identifies significant activities that are considered to be drinking water threats.

A review of the proposed use of the site confirms that the activities planned on the site will not be a threat or risk to the groundwater. There will be no chemical handling or storage of any

items listed in the Cataraqui Source Protection Plan. The proposed use of the site is a fitness centre.

5.0 EXISTING CONDITIONS

The area being redeveloped currently does not have any stormwater management facilities in place. The existing parking lot drains easterly towards the Gananoque River on the site. There is no controlled outlet currently.

The intent of the stormwater management plan presented herein is to mitigate any negative impact that the proposed development will have on the Town sewer system and neighbouring properties.

6.0 SEDIMENT AND EROSION CONTROL PLAN

To control sediment and erosion during construction the following shall be adhered to:

1. Before proceeding with any area grading the silt fence must be constructed where indicated.
2. Silt control fence shall be installed where shown and maintained until the completion of the landscaping.
3. Catchbasin silt traps are to be installed at all catchbasins off site where runoff can drain.
4. Accumulated silt to be removed off site prior to removal of the silt control fence.
5. Contractor to clean adjacent roads on a regular basis to the satisfaction of the Town.
6. The silt fence must be inspected weekly and immediately after rainfall events for rips or tears, broken stakes, blow outs (structural failure) and accumulation of sediment. The silt fence must be fixed and/or replaced immediately when damaged. Sediment must be removed from silt fence when accumulation reaches 50% of the height of the fence.
7. Upon completion of landscaping all sediment and erosion control measures shall be removed.
8. No construction activity or machinery shall be beyond the silt fence.
9. All earth or topsoil stockpiles shall be surrounded with a sediment control fence.

The Contractor shall be responsible for monitoring and maintaining the sediment and erosion control facilities until re-vegetation is complete.

The Sediment and Erosion Control Plan shall be considered a 'living document' that may need to be changed or adjusted during the life of the project to be effective.

7.0 PROPOSED STORMWATER MANAGEMENT DESIGN

The stormwater management for the new commercial development and parking area will be done via grading and use of low impact development to contain and treat stormwater runoff before leaving the site.

The intent of stormwater management is to limit the Post-development drainage runoff to the 5 year Pre-development conditions. The existing site has no stormwater management in place with no storm sewers. The proposed works will contain all runoff on the parking area.

The proposed SWM facilities are shown on the C1. Storage will be provided on site for the 2 through 5 year events, using infiltration trench and surface.

8.0 QUALITY– BEST MANAGEMENT PRACTICES

The site is less than 2 ha, using the Stormwater design manual, Section 4.1.1, and will be treated as a smaller developed area and recommend Lot Level and Conveyance Controls should be allowed for the site.

The flow from the site will follow natural drainage paths towards the east and Gananoque River. To help with water quality, Best Management Practices and Low Impact Development strategies are addressed by the rural nature of the development which includes the following factors:

Infiltration

Designing water flow paths in a longer shape will help with the removal of sediment and keeping temperature of the water lower. The flow path from the parking area to the infiltration trench is a low sloped gravel area. The gravel will allow for infiltration.

Preserve areas of undisturbed soil and vegetation

Areas that can retain their natural soils and current conditions should be included in the planning. The area of undeveloped grass land will be preserved to accommodate all runoff from the site.

Lot level Controls

At the lot level, the effects of runoff reduction measures are enhanced by minimizing lot grades to promote natural infiltration. Due to the natural topography or relief of the site, the existing grading of the entire site will be maintained and thus allowing natural filtration and absorption to continue while maintaining base flows and reducing TSS levels.

Conveyance Control

The use of low gradient grassed areas where possible is one of the best conveyance controls available. The flat grades help to reduce flow velocities, reducing erosion potential. The grassed bottoms and side slopes act as a filter for any suspended particulate matter as well as promoting infiltration.

Treatment Method

The treatment method will be best management practices included a grassed flow area. This also acts as a large buffer strip between the developed land and all neighbouring properties.

Treatment Area

This area has been designed and grades so all new surfaces drain to the grass areas around the development. The parking area is graded to flow to the grass swales and infiltration areas. The intent of the design is to provide a normal level of protection as defined by the MOE Stormwater Management Planning and Design Manual, March 2003 for the area being developed into a storage area.

9.0 QUANTITY – PRE-DEVELOPMENT

The site will be considered a treed area prior to the parking lot expansion. The runoff coefficient for the existing areas are calculated using the areas and assumed C for the lands.

The C_{avg} for the 5 year Pre- are calculated as follows:

Runoff Coefficient Calculation:			
PRE DEVELOPMENT			
Surface	C	Area (m2)	Area (ha)
Gravel	0.60	383.000	0.04
Grass	0.35	1863.100	0.19
Asphalt/Concrete	0.90	0.00	0.00
Building	0.90	393.61	0.04
Pasture Lands	0.28	0.00	0.00
Average C = 0.468284016		SUM:	0.26
POST DEVELOPMENT			
Surface	C	Area (m2)	Area (ha)
Gravel	0.60	1838.62	0.18
Grass	0.35	168.29	0.02
Asphalt/Concrete	0.90	0.00	0.00
Building	0.90	632.82	0.06
Pasture Lands	0.28	0.00	0.00
Average C = 0.66		SUM:	0.26

C_{pre} was calculated to be 0.47. C_{post} is 0.66

Drainage Area for Qpre					
Pre Runoff C =	0.468284016				
Area =	0.264	ha			
5 YEAR					
Time (min)	mm*ha/hr to L/s	C	I (mm/hr)	A (ha)	Q (L/s)
5	2.78	0.47	155.10	0.264	53.299
10	2.78	0.47	95.50	0.264	32.818
15	2.78	0.47	71.90	0.264	24.708
20	2.78	0.47	58.63	0.264	20.147
25	2.78	0.47	50.16	0.264	17.238

The allowable flow from the full site based on the pre-development 5 year storm event is **24.708 L/s**.

The water quantity objective for the storage area is to not exceed the existing stormwater flows from this area. The flow is limited to the pre-development runoff rates. Please note that it is

widely recognized that the rationale method typically overestimates peak runoff flows and as a result is an extremely conservative prediction method. Any facilities that are sized using results from the rationale method are expected to function in “real world” conditions.

10.0 QUANTITY - POST DEVELOPMENT

The post development flows are calculated using Modified Rationale method for various times and rainfall intensities, to determine the stormwater storage requirements for each area.

10.1 Drainage Area 1

The post development runoff coefficient is 0.80 for 5 year event. The rainfall intensity is taken using tables from Town of Brockville site plan design manual.

POST DEVELOPMENT			
Surface	C	Area (m2)	Area (ha)
Gravel	0.60	1838.62	0.18
Grass	0.35	168.29	0.02
Asphalt	0.90	0.00	0.00
Building	0.90	632.82	0.06
Pasture Lands	0.28	0.00	0.00
Average C = 0.66		SUM:	0.26

The allowable release rate from Drainage Area 1 is 24.708 L/s (5 year).

Drainage Area for Qpost								
Post Runoff								
C =		0.66						
Area =		0.26		ha				
5 YEAR						Allowable Release		
								Storage
Time (min)	mm*ha/hr to L/s	C	I (mm/hr)	A (ha)	Q (L/s)	Allowed Discharge	Net Runoff	Reqd (m3)
5	2.78	0.656	155.10	0.264	74.663	24.708	49.955	14.986
10	2.78	0.656	95.50	0.264	45.972	24.708	21.264	12.759
15	2.78	0.656	71.90	0.264	34.612	24.708	9.904	8.913
20	2.78	0.656	58.63	0.264	28.223	24.708	3.515	4.218
25	2.78	0.656	50.16	0.264	24.147	24.708	-0.561	-0.842
100 YEAR						Allowable Release		
								Storage
Time (min)	mm*ha/hr to L/s	C	I (mm/hr)	A (ha)	Q (L/s)	Allowed Discharge	Net Runoff	Reqd (m3)
5	2.78	0.656	259.00	0.264	124.679	24.708	99.971	29.991
10	2.78	0.656	159.50	0.264	76.781	24.708	52.073	31.244
15	2.78	0.656	120.20	0.264	57.862	24.708	33.154	29.839
20	2.78	0.656	97.65	0.264	47.008	24.708	22.300	26.760
25	2.78	0.656	83.55	0.264	40.219	24.708	15.511	23.266
30	2.78	0.656	74.00	0.264	35.622	24.708	10.914	19.646

Therefore, based on Modified Rationale Method, the storage requirement for Drainage Area 1 for 5 year storm event is 14.99 m³ and for the 100 year storm is 31.24 m³. The storage will be underground infiltration trench and on surface.

11.0 STORAGE PROVIDED

The stormwater storage requirements for the new development for the commercial building is 33 m³.

The site storage requirements are achieved with the use of an infiltration trench at the east end of the gravel areas.

12.0 WINTER OPERATION

During the winter months, snow will be stored in areas designated as snow storage area. If accumulation is above normal, snow will be removed from the site and parking lot. All catch basins and manholes will be monitored and kept free of snow and ice buildup to avoid any localized flooding on the site. The insulation effect of the snow will limit the depth of frost penetration such that when temperatures rise, moderate flow will occur in the bottom of the ditches and swales. Regular maintenance of the parking lot in spring to remove accumulated sand will be required.

16.0 MAINTENANCE

The owner will have maintenance staff review the site periodically during routine maintenance. The maintenance plans and forms must address the following:

- Inspection frequency
- Maintenance frequency
- Data collection/ storage requirements (i.e. during inspections)
- Detailed cleanout procedures (main element of the plans) including:
 - Equipment needs
 - Maintenance techniques
 - Occupational health and safety
 - Public safety
 - Environmental management considerations
 - Disposal requirements (of material removed)
 - Access issues

Prepared by:

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Brockville, ON K6V 5J9

Colin A. Jardine, P. Eng

March 19, 2025

